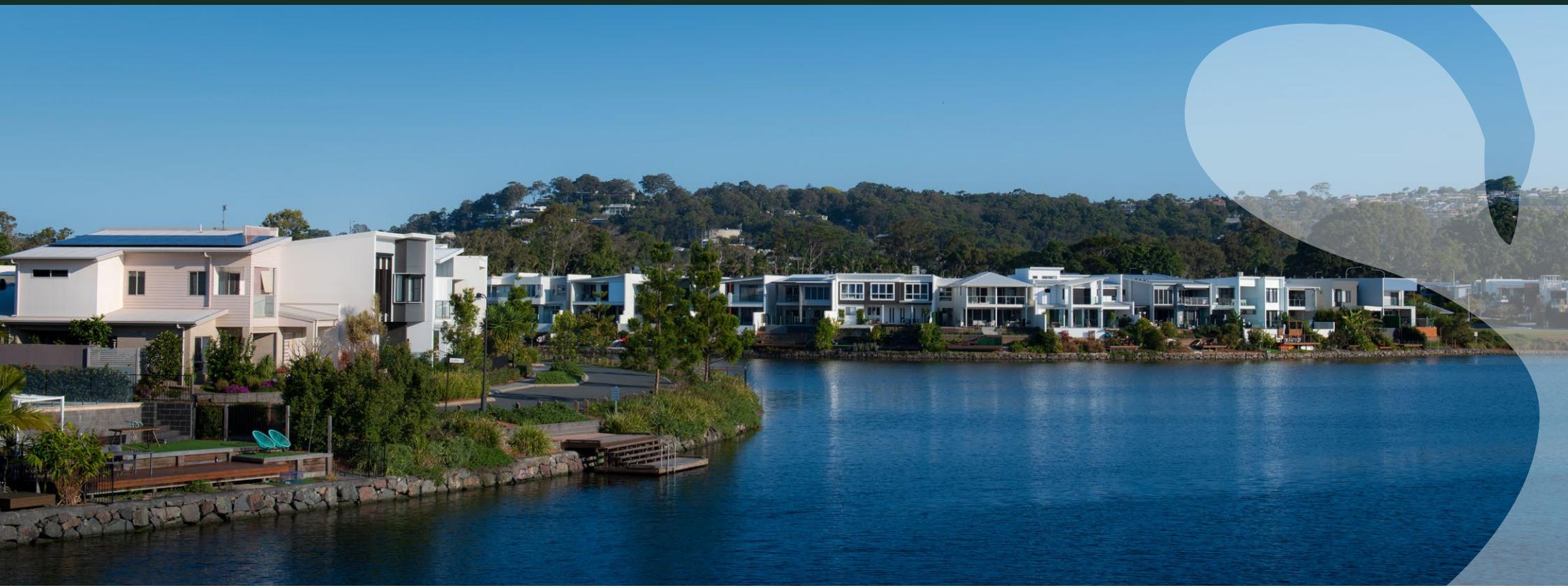


# LANCELIN PRECINCT STAGE III DESIGN COVENANT



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# 1. INTRODUCTION

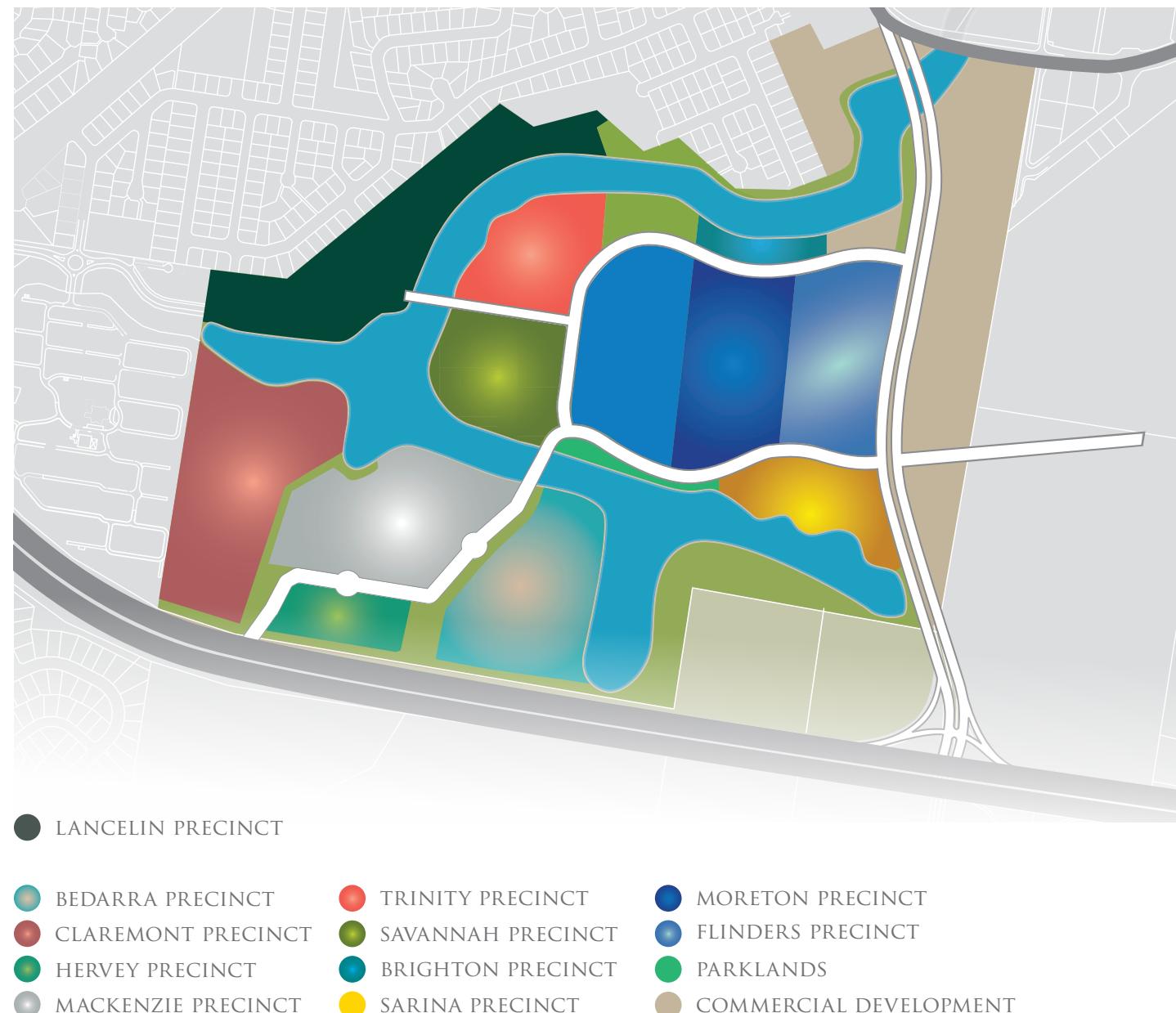
Stage three of the Lancelin Precinct is the final residential land release within Sunshine Cove and is set to create a stunning finale to our award winning land development. With sweeping water views across to the Claremont, Mackenzie, Savannah and Trinity Precincts, Lancelin has been eagerly anticipated by those wishing to call it home.

Stage three of the Lancelin Precinct features an array of stunning lakefront blocks, with beautiful sweeping lake vistas. Adding to its exclusivity, the Lancelin enclave is only accessible by the Cheyenne Way bridge.

Please note all Council approvals and legal documentation identify Stage 2 as the Bushland Reserve and Stage 3 as the final release of residential land.

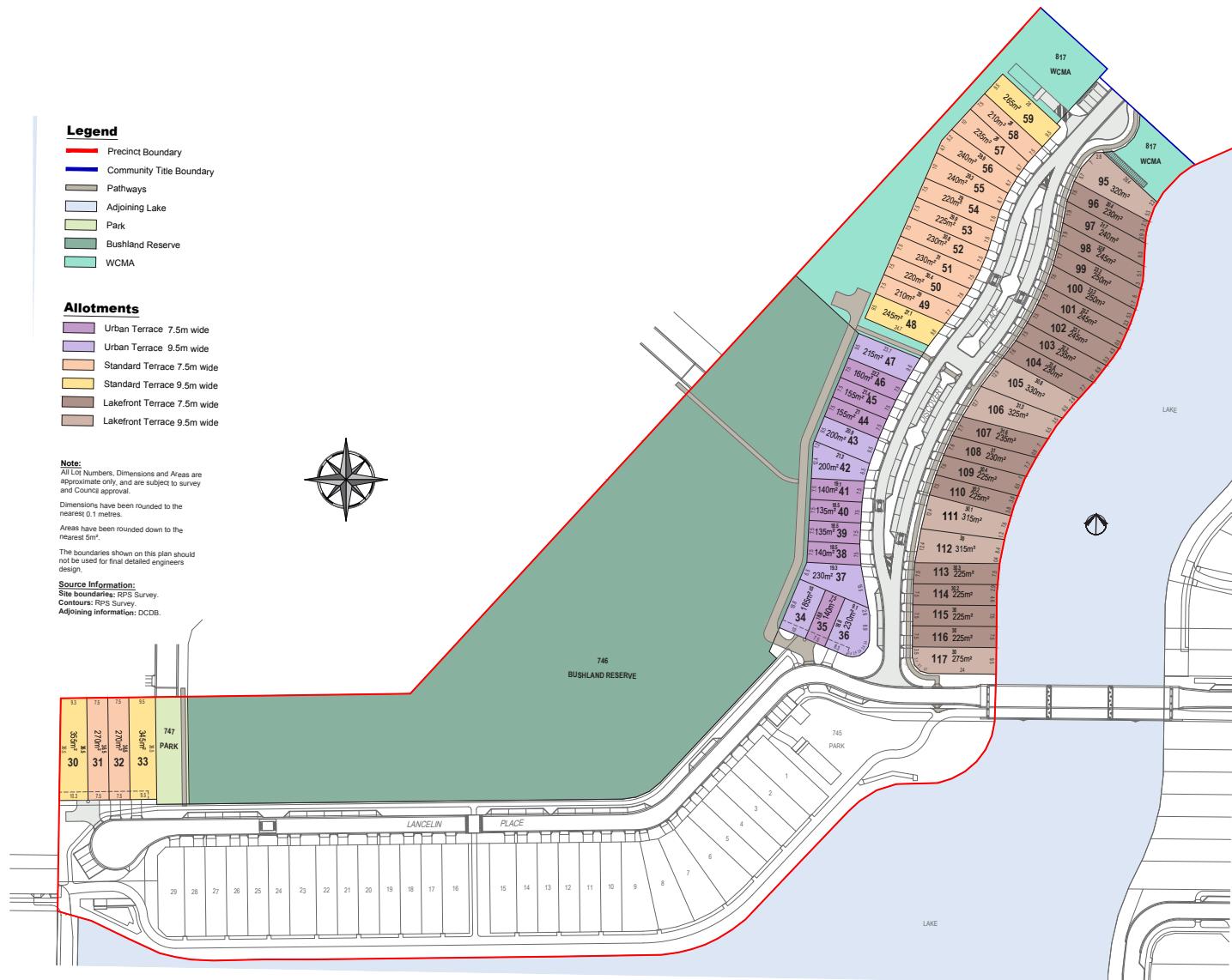
Sunshine Cove is already a popular and vibrant community, that has transformed Maroochydore and the Sunshine Coast forever. Some 6,000 residents will call Sunshine Cove home with many enjoying being a part of an the extensive business community emerging along the Maroochy Boulevard.

Architecturally diverse, planned with our coastal lifestyle always in mind, our urban laneway, terrace and waterfront home sites have made Sunshine Cove one of the coast's most sought after residential addresses.



## LANCELIN 'STAGE III' PRECINCT PLAN

## 2. PRECINCT PLAN



### 3. DESIGN VISION

The Lancelin Precinct is the last glittering jewel in our Sunshine Cove development. A stunning residential enclave accessible only by the Cheyenne Way bridge, it will also see the completion of the extensive Sunshine Cove pedestrian and cycle network.

Lancelin stage three, features 30 dry allotments and 23 direct to water allotments, each showcasing our enviable Sunshine Cove coastal lifestyle, with stunning views across the lake.

Each successive Sunshine Cove precinct has seen enriched architectural thinking employed to further individualise home designs, resulting in a diverse and attractive range of two and three storey water and park front homes highlighting current trends and practices.

The homes at Sunshine Cove beautifully reflect their owners, with each showcasing individual lifestyle desires.



## 4. PROTECTIVE COVENANTS AND DETAILED AREA PLANS

### 4.1. COVENANTS

The Developers of Sunshine Cove will require Buyers to enter into these protective covenants as detailed in the Lancelin Precinct Stage Three Design Covenants. These covenants will facilitate standards of design for individual dwellings and residential streetscapes without limiting choice and opportunity for independent design or sustainable living considerations.

### 4.2. DETAILED HOUSING PLANS

Detailed housing plans will be required as part of the building approval process. These plans will be prepared by the Buyer, at the Buyers cost, to illustrate elements such as building envelope locations, outdoor living areas and courtyard locations, garage locations, and building heights.

### 4.3. OTHER APPLICABLE DOCUMENTS

The Lancelin Precinct Stage Three Design Covenant is to be read in conjunction with any other relevant and current statutory documents including, most particularly Plan of Development (RPS Setback plan 22153-272 J), the Queensland Development Code, Building Code of Australia and Standard Building Regulation.

Buyers, builders, designers, architects and planners are urged to ensure best practice during planning and construction.

It is the owners, builders, and building certifiers responsibility to ensure compliance with relevant building standards in relation to common 'built to boundary' walls with respect to termite protection, water proofing and drainage to ensure no external impact to neighbouring properties.

The developers suggest parties contact Queensland Building and Construction Commission (QBCC) and the Sunshine Coast Regional Council to ensure they are adhering to best practice and are up to date on legislative requirements and changes.





## 5. APPROVAL PROCESS

### 5.1 DESIGN ENDORSEMENT BOARD

Development and construction proposed for the home sites will require the endorsement of the 'Sunshine Cove Design Endorsement Board'. Appointed by the developer, the Board comprises of a representative from the developer, an architect and a town planning professional, who will each review the proposed house plans to ensure compliance with the Lancelin Precinct Stage Three Design Covenant.

An electronic copy of the full set of working drawings including site plan, floor plan, elevations including proposed built form, external materials and finishes / colours and include location of air conditioning units, TV antennas, solar heating panels, rainwater tanks (optional), along with a detailed design for pools, spas, landscaping and fencing, must be provided to the developer for review.

### 5.2 BUILDING APPROVAL

Once approval is received, the plans will need to be submitted for building approval through the Sunshine Coast Regional Council or alternatively a private certifier. It is the applicant's responsibility to ensure appropriate documentation and fees are submitted for approval.

A copy of the approved house plan will remain the property of the Developer for the purpose of future lot specific referencing. The Buyer acknowledges that the Developer may provide a copy of elevation detail to adjoining property owners to enable complimentary designs to be enacted. Copyright of approved designs remains the property of the Buyer or the Buyers architect / designer and the Buyer indemnifies the Developer against any breach of this.

The Buyer acknowledges that the risk in relation to, seeking and obtaining, the approval of the Council to the plans and specifications, rests solely with the Buyer notwithstanding that such plans and specifications may have been approved by the Seller.

Minor variations to the approved Plan of Development for individual lots to suit specific conditions are to be assessed as a request for consideration as "generally in accordance" and accompanied by the relevant application fee.

Prepare house design drawings in accordance with Lancelin Precinct Design Covenant.

Submit house design drawings for review and approval by Sunshine Cove Design Endorsement Board.

For approval you will need to supply an electronic copy of:

- a) Building plans (1:100 A3)
- b) Elevations and sections of house
- c) External finishes schedule
- d) Location of air conditioning units, solar panels, television antennas, satellite dishes, rainwater tanks as required
- e) Pool and or spa plans including location of pumps, filters and heaters
- f) Landscape and fencing plans

Design is reviewed by Sunshine Cove Design Endorsement Board.

Variations required.  
Amend house design and resubmit for approval by Sunshine Cove Design Endorsement Board

Approval is issued by Sunshine Cove Design Endorsement Board.

Submit SCDEB approved detailed house design drawings to Sunshine Coast Regional Council or private certifier for Building Application approval.

Building Approval issued by local authority or private certifier.

Engage Builder and commence construction.



SUNSHINE COVE  
MAROOCHYDORE

## 6. BUILDING FORM

### 6.1 BUILDING APPEARANCE AND STREETSCAPE

Home designs should be reflective of Sunshine Coast lifestyle, architecture focus and type. Building elevations should feature a composite of external wall finishes with elevations to be articulated to provide visual interest. Blank facades are to be avoided through the provision of projections and indentations on floor plans with resultant shadow effects and corresponding roof elements. The street façade of the building should be detailed to provide visual richness as well as enabling sustainable and environmental considerations to be implemented (reflective of individual identity). This can be achieved through:

- The application of colour, texture and changes in materials;
- The use of elements such as awnings, balconies and glazing.
- A structural element of the building or enclosed pedestrian entry to project forward of the garage so as the garage is not the dominating feature.
- Elevations, to reflect the desired character through the application of a mix of materials and colours as, outlined in the introduction and section 6.2 Wall Materials.

For all lots which do not have access to a laneway either: (a) the first floor shall incorporate windows and or balconies from a living / bedroom that overlooks the street in order to provide for passive surveillance. Further the first floor must be within 3m or forward of the garage door; or

(b) a tandem car parking arrangement is used (rather than a double garage) and a living / bedroom with windows overlooking the street, projects in line with, or forward of, the tandem car parking at ground level.

### 6.2 BUILDING HEIGHT

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'. Two storeys and not more than 8.5m required for Lots 52 to 59. Three story and not more than 8.5m is required for Lots 30 to 33.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and water view lots the site cover of the third storey does not exceed 40% of the total site area.

### 6.3 SECONDARY STREET ELEVATIONS

To promote sustainable building practices and enhance aesthetics, diversity and security on corner lots are required to address both the primary and secondary streets. The secondary street elevation is to feature a suitable level of detail including windows, consistent with that of the primary street elevation and blank walls are to be avoided.

### 6.4 PRIVATE OPEN SPACE

On lots greater than 160m<sup>2</sup>, each design is required to include private open space of at least 16m<sup>2</sup> in size, that has no dimension less than 3m, and is accessible from the living area of the dwelling. All private open space areas are to remain uncovered.

### 6.5 BUILT TO BOUNDARY WALLS

The benefits of the Sunshine Cove 'built to boundary' terrace lots are primarily the ability to maximise the building envelope within the allotment whilst maintaining privacy. Depending upon the allotment, 'built to boundary' walls are designated as either mandatory or optional.

Mandatory 'built to boundary' walls require either a single or two storey wall to be constructed no closer than 25mm from the property boundary for either part (3-4m), or the full length, of the building envelope.

Optional 'built to boundary' walls provide greater flexibility by enabling the house designer to choose between locating the walls no closer than 25mm from the property boundary or setback the walls 1.0m from the side boundary.

For all terrace allotments the western or southern side boundary must have a full 2 storey wall for the mandatory built to boundary.

Observance of this design principle ensures residents maintain their privacy, and limits potential intrusive noise and light pollution.

House designers need to be aware that adjoining allotments often have similar 'built to boundary' wall entitlements. Measures should be taken to ensure that residential slabs must not be cold-joined with neighbouring residential footings or slabs. Boxing material (eg Styrofoam, timber etc ) used to create the 25 mm setback must be removed along common boundaries.

House designers need to ensure that the 'built to boundary' wall does not negatively impact on the adjoining residence. Some of the design aspects which require careful attention are stormwater conveyance, water proofing, termite prevention and level changes between allotments.

The Queensland Building and Construction Commission (QBCC) are the legislative government body responsible and they can provide advice on best practice in these circumstances. In the event of defective building work that impacts upon you or your neighbours property QBCC may provide direction. Being aware during the design phase of such an issue can save time and money.



## 6. BUILDING FORM (CONT'D)

### 6.6 ZERO LOT BOUNDARY DETAIL - STORM WATER

The zero lot side boundaries enable builders to construct a side boundary wall as close as practical (25mm) to the side boundary of

Design solutions for capturing and conveying stormwater on adjoining zero lot boundaries should be undertaken in accordance with the Building Code of Australia, Volume 2 (BCA):

- Performance Requirement P2.2.1;
- Part 3.1.2 Drainage; and
- Part 3.5.2 Gutters and Downpipes.

Compliance with the Building Code of Australia can be achieved by disposing of the stormwater in a way that avoids the likelihood of damage or nuisance to any other property.

As such, it is recommended that roofs are sloped to convey storm water either to the front or rear of the allotment (ie away from neighbouring allotments). Roofs sloping towards a neighbouring property require measures to ensure that water is not discharged onto the adjoining property. One such means is the use of a parapet wall concealing a box gutter.

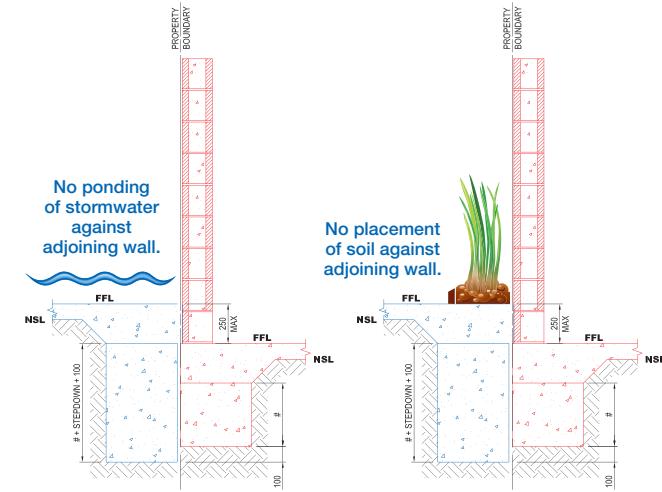
Where walls are constructed along the zero lot line the general practice has been to provide flashing and capping over the narrow gap to prevent water intrusion. These spaces can be ventilated by installing mesh screens vertically at the end of the walls.

Traditional housing designs have slotted gutters connected to the fascia which allow stormwater to be spilled through the slots when the capacity of the gutters are exceeded. This option is not recommended and has disadvantages over the long term for adjoining zero lot boundary walls:

- Excess water discharged onto the adjoining property has the potential to cause long term damage;
- Surface water ponding in close proximity to the building footprint;
- Creation of undue dampness that may result in water entering into a building;
- Water entry into a building may deteriorate building elements and affect the functional use creating a loss of amenity for the occupants;

- The inability to effectively maintain the gutter or the void created between the two adjoining side boundary walls.

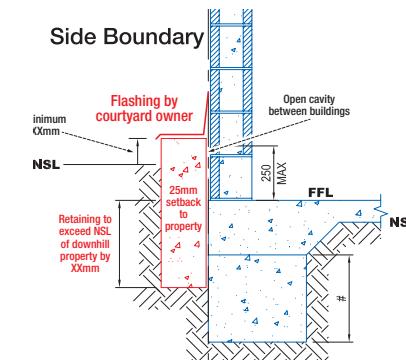
The Queensland Building and Construction Commission (QBCC) are the legislative government body responsible and they can provide advice on best practice in these circumstances. In the event of



defective or non defective building work that impacts upon your or your neighbours property, QBCC may provide direction. Being aware during the design phase of such an issue can save time and money.

### 6.7 LEVEL CHANGES BETWEEN ALLOTMENTS

Situations may occur where 'built to boundary' walls abut one another and the final slab/allotment level differs between allotments but must not exceed 200mm. Care needs to be taken when detailing and constructing the second 'built to boundary' wall to ensure the integrity of the water proofing and termite control measures.



Non-'built-to-boundary' side walls, situated on the uphill side of another 'built to boundary' wall (on the downhill side) requires special consideration during detailed design to ensure compliance with the relevant building standards and to maintain the integrity of the downhill property with respect to termite protection, waterproofing etc.

House designers should be aware of specific building code requirements in relation to the ground level beside an adjoining slab and the civil/legal requirement that a property retains its own fill. There is no ability for a neighbouring 'built to boundary' wall to be used as a retaining wall for their neighbour, without a legal agreement in place to cover this outcome.

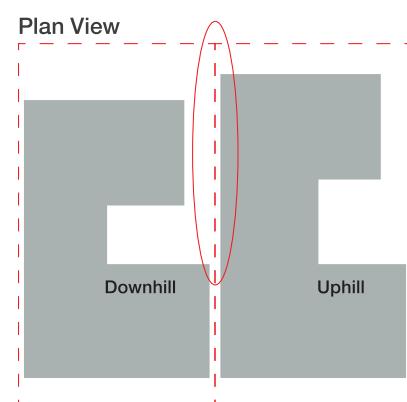
A possible design solution is to provide a retaining structure to the entire length of the uphill side boundary where there is no solid 'built to boundary' wall for the dwelling (and setback a minimum 25mm).

This would ensure that the required separation distance between the neighbouring properties is maintained to address waterproofing and termite protection and allow for waterproofing/capping between the walls.

## 6.8 ROOF FORM

Roof pitches shall be complimentary to the home design with the following conditions to apply:

- Setbacks are measured to the wall of the building / structure. Eaves (excluding gutters) are permitted to extend up to 600mm within the setback area (other than where walls are built to boundary), provided a minimum side boundary clearance of 450mm is achieved.
- At gables the roof verge is to have minimum 200mm overhang.
- Flat roofs shall generally be hidden behind parapets.



- For habitable spaces within a roof, the pitch maybe broken by dormer windows.

The outer most projection of the portico eaves must not be closer than 0.45m from the property boundary.

## 6.9 WINDOW

Bay Windows may extend up to 0.5m into the front setback area and side street setback for corner lots.

To ensure privacy to adjoining and or neighbouring allotments, side walls must be setback from the side property boundary where windows have been installed and these windows must provide sufficient adequate screening to enhance livability, security and privacy.

## 6.10 ENTRANCE PORTICOS

Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks in sections 15 to 17 provided that:

- the height of the portico does not exceed 4.5m;
- the portico remains open and not enclosed;
- the width of the portico is limited to the front entry only; and

## 6.11 PORCHES, BALCONIES AND VERANDAHS

Porches, balconies, verandahs or similar may extend up to 1.0m into the front setback area and the side street setback for corner lots, provided they remain open and not enclosed.

## 6. BUILDING FORM (CONT'D)

### 6.12 POOLS

The use of pools and spas is determined by standard building requirements. Pools and or spas, pool equipment including electrical pumps along with pool fencing must comply with the Queensland Building requirements as well as Sunshine Coast Regional Council bylaws.

### 6.13 BUILDING HEIGHT, SITE COVER AND SETBACKS

The maximum allowable height for all dwellings, the site cover and setbacks for individual allotments is to be as shown on the approved

RPS Setbacks Plan 22153-272 J for all created allotments and is detailed in sections 15 to 17 of these covenants. Roof top terraces are defined as a 'storey'. Maximum building location envelopes are subject to existing and future proposed easements and/or underground services.

Minor variations to the approved Plan of Development for individual lots to suit specific conditions are to be addressed as a Request for consideration as "generally in accordance" and accompanied by the relevant application fee.

### 6.14 SITE LEVELS AND RETAINING WALLS

To maintain views and avoid overlooking issues, additional retaining on existing retained boundaries is not permitted. Existing site levels may not be raised by more than 200mm without the specific written approval of the Developers of Sunshine Cove.

The level between slabs where there is a level change between lots must not exceed 200mm.

### 6.15 FILL

It is acknowledged that the lots may have been filled. It is the Buyers responsibility to make their own investigations to satisfy any proposed building operation as to the suitability of any footing, foundations or proposed construction given the nature of the lot as to any requirements in that regard. All costs associated with this will be at the Buyers expense.



## 7. LAKE BOUNDARY CONTROL PLAN

### *Sunshine Coast Council Notice: Works Within Easement*

*Council will support an application for minor works within the water storage easement, if the works are in accordance with the Lake Boundary Control - Freehold Allotment Drawing 22153-1351 prepared by RPS and dated 14 November 2012. (Refer illustration to right)*

*The following property notation will be included on all properties which are encumbered by the water storage easement:*

*During flood events, the area of this property covered by the Water Storage Easement can be expected to be inundated. Although minor works may (subject to prior Council approval) be permitted within the Water Storage Easement, any works and structures placed there will be at the owners own risk. This note does not imply that the owner need not make their own flood search enquiry in respect to the balance of the property area.*

### *Council Approval Process*

*Any structures or works to be undertaken within the easement will require Council approval. Depending on the particular type of work or structure involved, the required approval process will be one of the following:*

*1. Where a Building Application is submitted to a private certifier. If this application proposes works for a building or structure resulting in minor variations outside the building envelope (nominated on the approved Plan of Development) and also involves works within the easement, the Building Works application must be submitted to Council for alternative siting and design.*

*Council will review the proposal as a referral agency for the building application.*

*The proposal for works within the easement will be reviewed against Drawing 22153-1351 and if consistent, the proposal will be endorsed. Applications involving works beyond the scope of Drawing 22153-1351 will be assessed on their merits and may or may not be supported.*

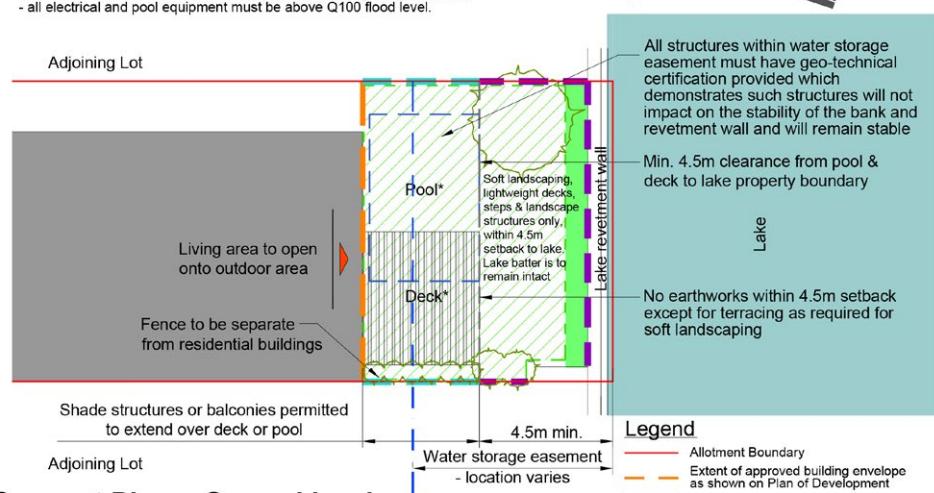
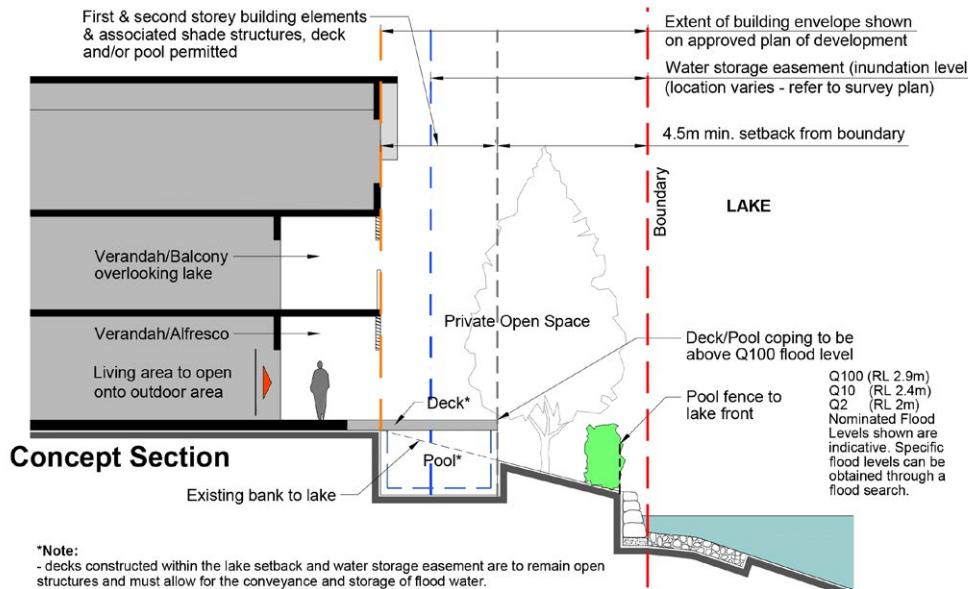
*2. Minor works not requiring building approval, but within the easement including - decks, paving, stairs, walls, terracing and other hard landscaping/structures).*

*This request must be submitted in writing to the Assessment Manager, Sunshine Coast Regional Council and include the subdivision reference identified on the Plan of Development relating to the particular allotment. The request must be in the form of a request for written advice, seeking council approval for the works within the easement.*

*The request must include detailed drawings of the proposal, a covering letter, all required supporting information as required on the Drawing 22153-1351, and be accompanied by the prescribed fee for written advice (in accordance with Council's Adopted Fees and Charges).*

*The proposal will be reviewed against Drawing 22153-1351 and if consistent, it will be endorsed. Applications involving works beyond the scope of the concept plan will be assessed on their merits and may or may not be supported.*





## Concept Plan - Ground level not to scale

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.

**Note:**  
During flood events, the area of this property covered by the Water Storage Easement can be expected to be inundated. Although minor works may (subject to prior Council approval) be permitted within the Water Storage Easement, any works and structures placed there will be at the owner's own risk. This note does not imply that the owner need not make their own flood search enquiry in respect to the balance of the property area.

## 8. MATERIALS

### 8.1 ROOF MATERIALS

#### Corrugated Metal Roofing

Corrugated metal roof sheeting is to be of low or neutral visual impact from the specified range of Colorbond colours or Zincalume finish. Bright or dark, heat-absorbing colours are not encouraged. Roof colours are to be selected from the following Colorbond range: (or equivalent) Windspray, Shale Grey, Classic Cream, Surfmist, Dune, Bushland, Sandbank, Ironstone, Pale Eucalypt, Woodland Grey, Paperbark, Jasper.

#### Tiled Roofs

In keeping with the promoted contemporary urban form, roof tiles must be low profile slate style in neutral colours. Overly bright colours such as reds, greens or blues and black, dark or deep terracotta colours are not encouraged as they are considered to absorb greater levels of summer heat than lighter colours. Such other colours that achieve a solar absorption value of the roof of not more than 0.55 to achieve 5 star building compliance will also be considered.

### 8.2 WALL MATERIALS

Walls visible from a street or other public space should feature a composite of construction finishes. A dominant material such as painted or coloured render/bagging, face brickwork, stone, rammed earth or blockwork is to be complemented by minor elements of alternative materials with selections from the following:

- Face and rendered/painted brickwork/blockwork of contrasting colours;
- Stone cladding;
- Clear glazing;
- Weatherboards, painted or natural finish;
- Corrugated sheet metal cladding in custom or mini orb profile in Colorbond or Zincalume finish;

- Compressed fibre cement cladding.

- Natural or raw concrete facades or in their use as a wall material must be finished through the use of paint, render or cladding to compliment the buildings colours.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to, built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

The Buyer agrees to provide access to the adjoining house builder to allow rendering and painting of the visible external walls of the neighbouring residence.

Tilt up or precast concrete will only be approved for internal walls or where the design exhibits sufficient components of detail and glazing to satisfy the spirit of the guidelines and must comply with the Queensland Development Code.

The use of recycled building materials are also encouraged, to compliment the environmental sustainable philosophy of Sunshine Cove.

### 8.3 WINDOW MATERIALS

Security screens and doors fitted to external windows and doors on all external and visible faces are to be wire mesh only with no visible reinforcing to enhance natural ventilation. Honeycomb or similarly reinforced security screen are not encouraged or permitted.

## 9. COLOURS

The use of colour will be a valuable means of unifying buildings within Sunshine Cove. In keeping with regional architecture, base colour indicators should be derived from the local natural elements.

The intent is not to stifle expression, rather to provide compatible base colours, which can be accentuated through the application of tonal variations and accent colours. In keeping with regional architecture and sustainable building practices.

## 10. FENCES

### 10.1 FRONT STREET FENCES

In order to enhance the sense of community fostered at Sunshine Cove, fencing proposed for a primary street boundary is to be low to maintain an open streetscape which facilitates visibility and casual cross surveillance. This is preferred to be in the form of a low rendered masonry wall to a maximum height of 1.2m, above this height the fence must be 50% transparent. For piers and 0.8m for permeable panels.

### 10.2 SECONDARY STREET FENCES

In line with the requirement for corner residences to address both streets, any fencing along the corner truncation and at least to the setback of the front boundary of the first habitable room of the secondary street boundary is required to be a continuation of low or visually permeable front fencing. The balance of secondary street fencing may be solid to suit particular privacy requirements.

### 10.3 TERRACE DIVIDING FENCES

All fences dividing adjoining properties shall be a minimum height of 1.8m and constructed of rendered block, masonry or similar. Such fencing shall not project past the adjoining front building line. Dividing fencing in front of the building line shall be low or visually permeable as required for a front fence. Rendered block inserts to a maximum of 1.8m must be installed to terrace boundaries.

To maintain privacy and neighbourhood acoustics on terrace allotments side boundary fencing must be solid either block and or masonry and to a height of 1.8m, and be reflective of the house type and colour.

This solid screen fencing must not extend forward of the front building line or the rear building line, including where the rear boundary of a lot adjoins open space or the lake.

Optional solid fencing with a maximum height of 1.8m is permitted (to be measured from the height of the pool or deck) where adjoining pools and decks where endorsement of the structure is provided by the master developer.

All fencing for the waterfront / lakefront lots must be in accordance with the Council Approved Lake Boundary Control Plan.

### 10.4 FENCING PROVIDED BY THE DEVELOPER

Where desirous, the Developer, at their discretion may construct boundary fencing where it is determined that consistency of design and materials will be beneficial to the amenity of the project.

### 10.5 FENCING MATERIALS

The use of residential pool grade fencing (except to the water side of waterfront allotments), colorbond capped metal, corrugated fibre cement, standard wooden paling boundary fencing is not permitted.

Any other fencing must match the type, quality and colour installed by the Developer, and only after approval in writing by the Developer.

Built to boundary wall is mandatory where shown on the plan. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setback Table for non-built to boundary walls.

For terrace lots built to boundary walls shall not exceed the front or rear setbacks for the lot.

Notwithstanding the Dividing Fences Act 1953 as amended to the contrary, the Buyer shall not make any claim against the Seller / developer for contribution to the construction of any dividing fences on or within boundaries or between the Lot, or any adjoining lot owned by the Seller.

## 10. FENCES (CONT'D)

Fencing to all boundaries of the land other than those to which fencing is restricted by these covenants shall be erected before occupation of the dwelling. Where the Buyer does not intend to construct a front fence, low planting and or hedging may provide suitable screening or privacy.

### 10.6 FENCING COLOURS

Where fencing is provided by the Developer, the property owner shall not permit any repairs, patching or repainting other than in the same finish and colours as existing, otherwise:

Masonry low fencing in front of the building should match or be complimentary to the base wall colour.

Palisade Infill Panels: Where incorporated into front fences, timber palisade infill shall be coloured white or off white.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

Please refer to items 5.4, 5.5 and 5.6 for further detail.

## 11. RETAINING WALLS

- (a) Retaining walls constructed of concrete blockwork must be treated with a rendered finish and colour coordinated with the main building on the lot.
- (b) The Buyer acknowledges that the Seller may have caused the construction of a retaining wall on the boundary of the Lot. The Buyer or someone acting on its behalf shall not, when excavating or building on the Lot, interfere with or undermine the structural integrity of the retaining wall. The Buyer agrees to indemnify and keep harmless the Seller and any other affected person (eg. adjoining land owner) from any breach of this covenant.

Estate walls that have been installed by the Seller / Developer, for the purpose of enhancing the value of the Lot and also the Estate generally, will not be permitted to be removed, changed, damaged or altered.

## 12. ESTATE WALLS

Estate walls that have been installed by the Seller / Developer, for the purpose of enhancing the value of the Lot and also the Estate generally, will not be permitted to be removed, changed, damaged or altered.

## 13. LANDSCAPING

All landscaping works are to be of high quality and complementary to the house design, are to be submitted for approval by the SCDEB along with house designs and should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

## 14. VEHICLE ACCESS

Garages to all lakefront terrace lots are to be accessed via a single width driveway (max 3.5m wide, where crossing the verge) to maintain space within the verge for street trees, grass and street planting beds. Driveway locations must not be in designated parking bays or compromise landscaping in the street.

Garages must only front the boundary shown as the Permissible Vehicle Access Zone and no access is permitted from other frontages.

## 15. DRIVEWAYS

Where a single driveway is permitted the maximum width across the street verge when accessing a double garage is 3.5m and 3.0m when accessing a single garage. This is needed to maintain space within the verge for street trees, grass and street planting beds.

Driveways should be constructed of concrete with exposed aggregate or stamped or stencilled surfacing, plain concrete driveways are not permitted nor allowed. Driveways should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

### 15.1 DRIVEWAYS INSTALLED BY DEVELOPER

Driveways and driveway crossovers that have been installed by the Developer may not be altered in any way by the Buyer or any person / entity engaged by or for the Buyer. Ongoing maintenance of these areas will be the responsibility of the Buyer.

Driveways need to join the existing driveway crossover located on the kerb. Driveways within the road verge are not to be wider than the crossover, as per the approved Plan of Development.







# 16. COMPLIANCE

## 16.1 SUSTAINABLE BUILDINGS

Buildings must comply with the current Queensland Development Code, Sustainable Buildings for water conservation, energy efficient lighting and hot water.

## 16.2 SITE SERVICES

All piped and wired services including waste and vent pipes, refrigerant lines and cable ducts are required to be built into walls and are not to be visible from the street or adjoining properties.

## 16.3 LETTER BOXES

Letter boxes must be installed on the front property boundary and be easily accessible for Australia Post deliveries.

## 16.4 RUBBISH BINS

PVC or bulk rubbish bins should not be visible from public areas except on rubbish collection days. Bins shall be located in a screened storage area, with consideration shown for neighbouring properties.

## 16.5 STORES AND OUTBUILDINGS

All dwellings are to have a store with a minimum area of 4m<sup>2</sup>, provided under the main or garage roof and accessible from either outside the dwelling or within the garage area. Separate outbuildings visible from any public area are required to be constructed of wall and roof materials to match the main dwelling, to maintain compliance of building requirements. Colorbond style metal sheds / lawn lockers or similar are not permitted where visible from public areas.

## 16.6 AIR CONDITIONERS

As air conditioning plant is noise generating and often unsightly, its impact on adjoining properties and public areas is to be mitigated.

Air conditioning is preferred to be located at ground level to minimise the impact on neighbours and is to be visually concealed from public areas. Any roof mounted air conditioning or evaporative cooling plant

is required to be located so as to not be visible from a street or public open space and is to be finished in a colour to match that of the roof.

Any balcony plant is to be visually and acoustically screened from adjacent dwelling units and visually screened from streets and other public areas.

## 16.7 TV ANTENNAE AND SATELLITE DISHES

TV antennae are to be located within the roof space or to the rear of the roof, wherever reception permits but not visible from any principle street frontage.

## 16.8 SOLAR COLLECTORS

In line with sustainability principles, the use of gas boosted solar hot water and swimming pool heating systems is encouraged, however solar collectors must not be visible from public spaces unless there is no other location which affords suitable solar exposure. In this case they should be installed on the plane of the roof, with water tanks ideally located within the roof space.

## 16.9 RAINWATER TANKS

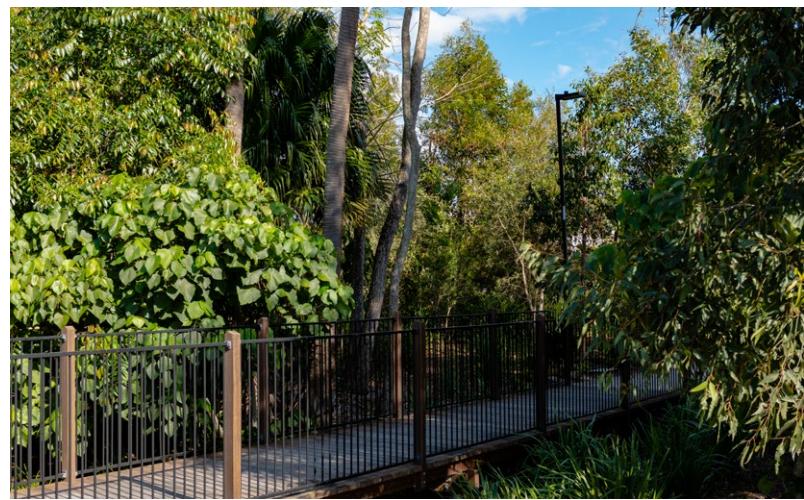
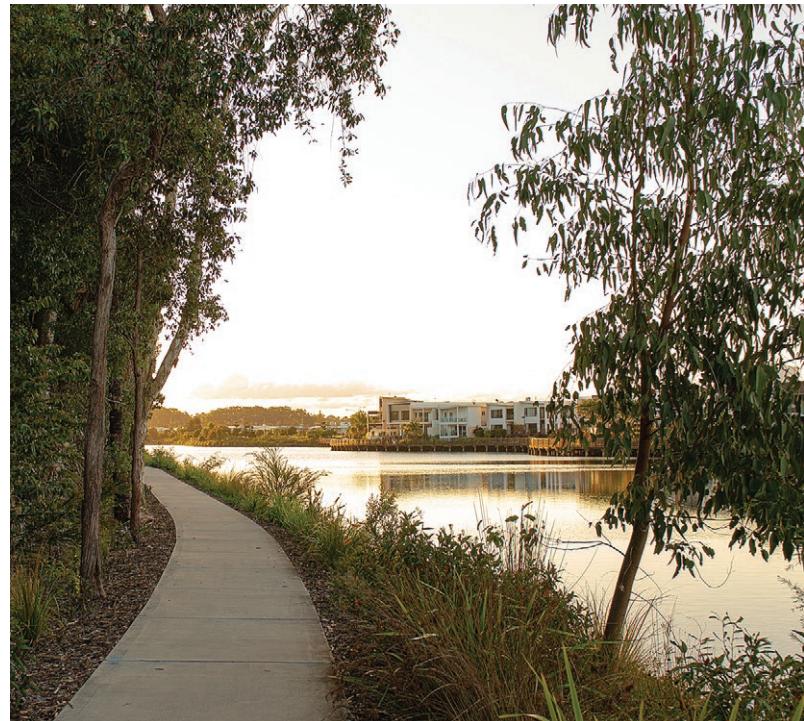
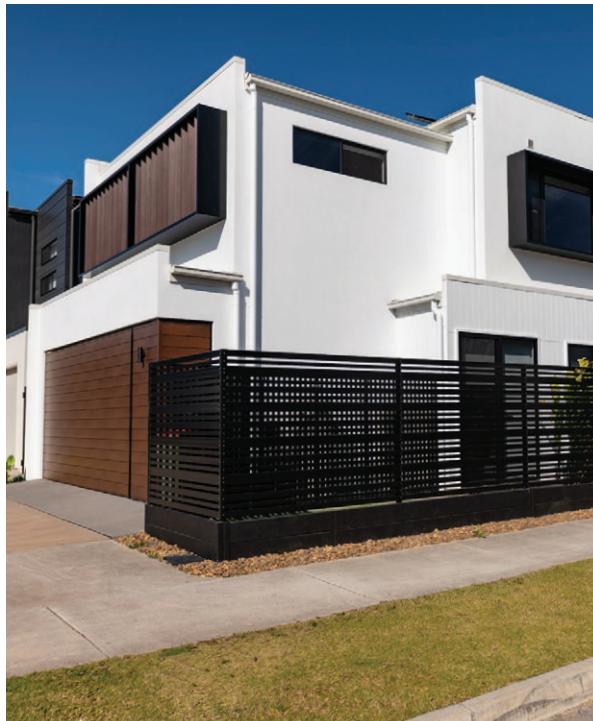
The use of rainwater tanks are encouraged and where possible these should not be seen from public areas. The use of underground or roof cavity rain water tanks is preferred. Tank capacity is as per Sunshine Coast Regional Council policy for stormwater mitigation.

## 16.10 CLOTHES LINES AND DRYING AREAS

These should be located to access winter sunshine and prevailing breezes and shall not be visible from public areas or neighbouring allotments or from the street or lane.

## 16.11 PARKING, TRAILERS, CARAVANS AND SIMILAR VEHICLES

All cars are required to be parked within individual garages. Any other vehicle, including but not limited to caravans, trailers, boats, jet skis, motorbikes, are to be parked/ housed within the property boundaries and should not be visible from public areas.







SUNSHINE COVE  
MAROOCHYDORE

## DETAIL

## STANDARD TERRACE ALLOTMENTS

## Lots 30 AND 31

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	8.5m
Side Setback (1st & 2nd Storey)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	n/a
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

## Building Height

Maximum Building height shall be 2 storeys (8.5m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

## Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and must be consolidated in one location. All Private Open Spaces to remain uncovered.

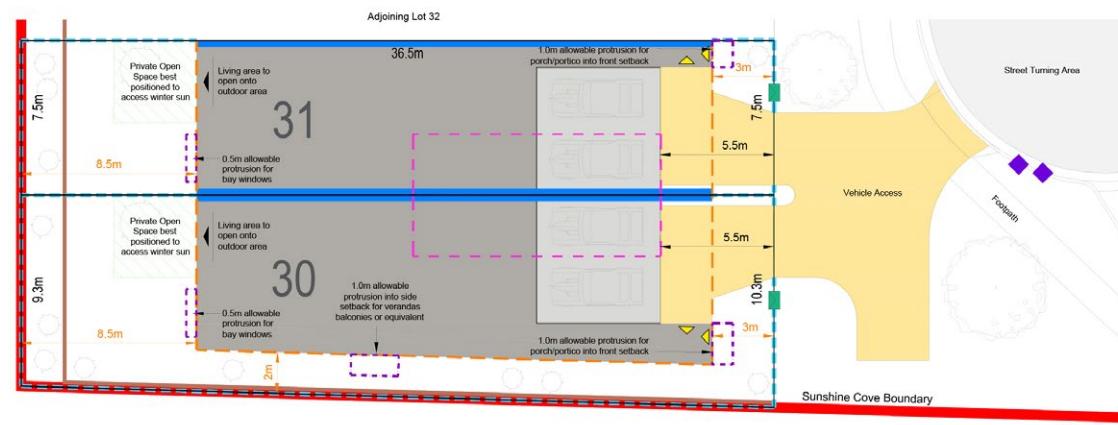
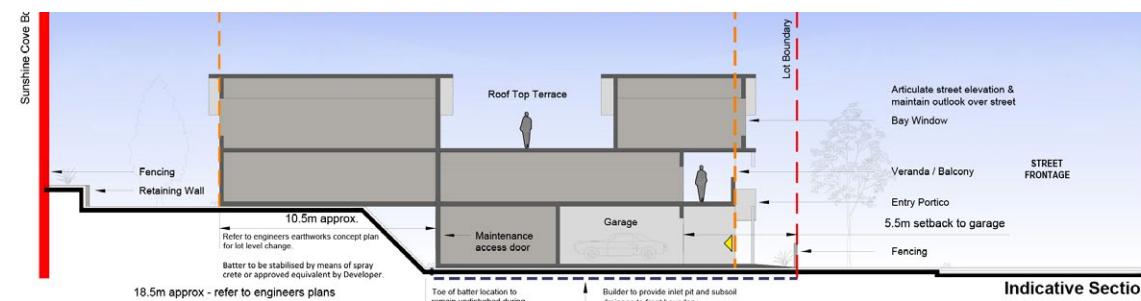
## Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

## Landscaping

2m x 2m area within lot

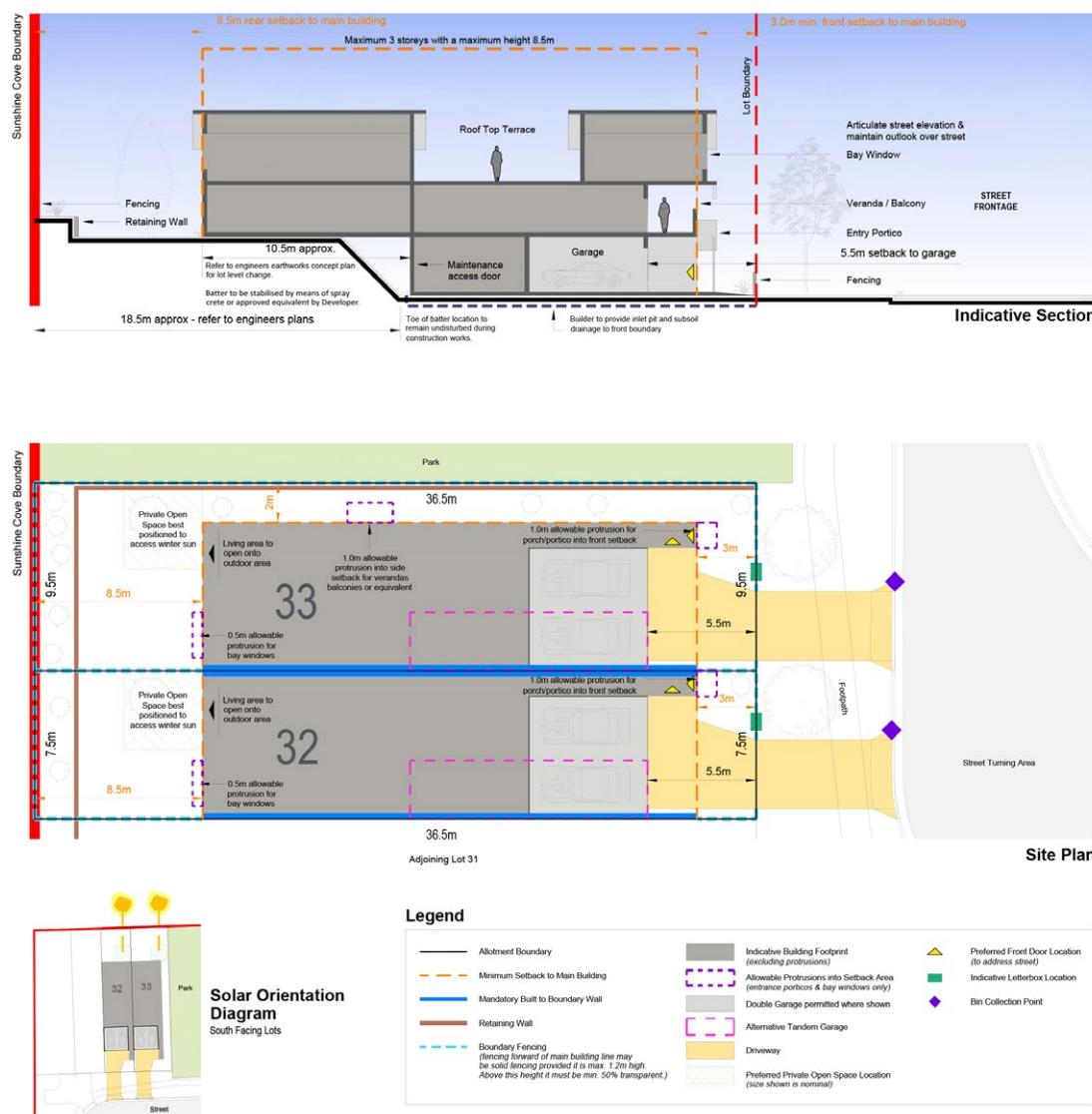
## 17. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



## Legend

Landscaping 2m x 2m area within lot

## 18. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



Landscaping 2m x 2m area within lot.

Note: drawings are not to scale

### DETAIL

#### STANDARD TERRACE ALLOTMENTS Lots 32 and 33

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	8.5m
Side Setback (1st & 2nd Storey)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticoes	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

At least 16m<sup>2</sup> in size, no dimension less than 3.0m and must be consolidated in one location. All Private Open Spaces to remain uncovered.

#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

#### Landscaping

2m x 2m area within lot.

## DETAIL

### URBAN TERRACE ALLOTMENTS Lots 34 to 36

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	N/A
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> or 12m<sup>2</sup> for lots under 160m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

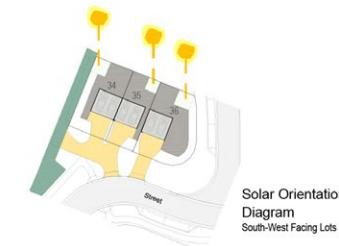
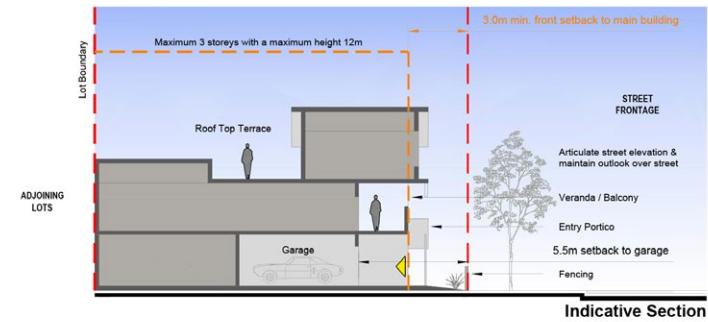
#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

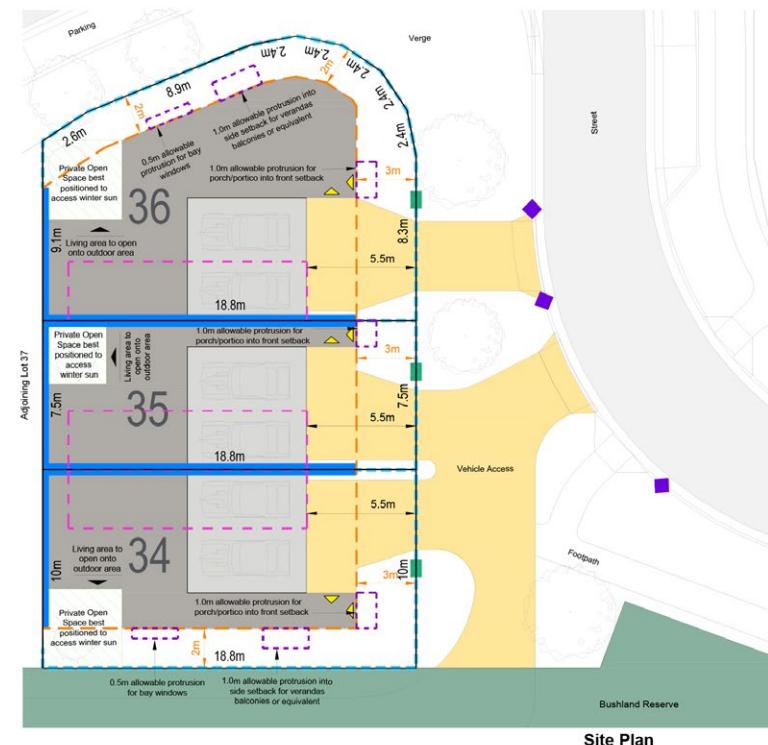
#### Landscaping

2m x 2m area within lot.

## 19. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT

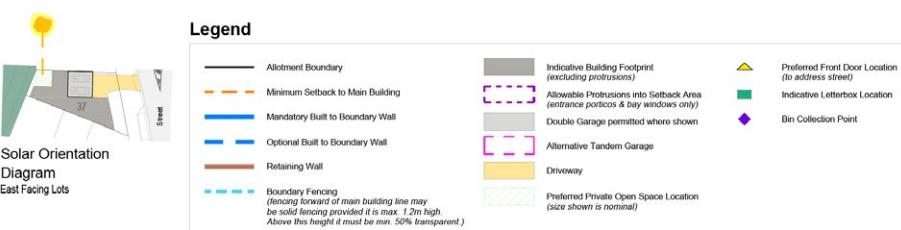
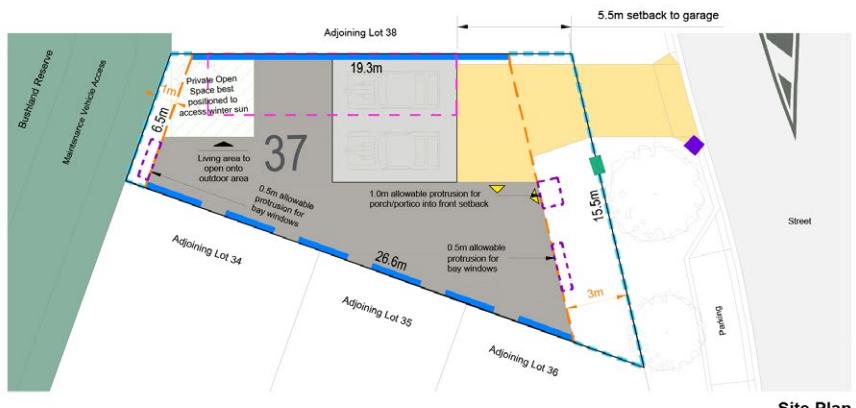
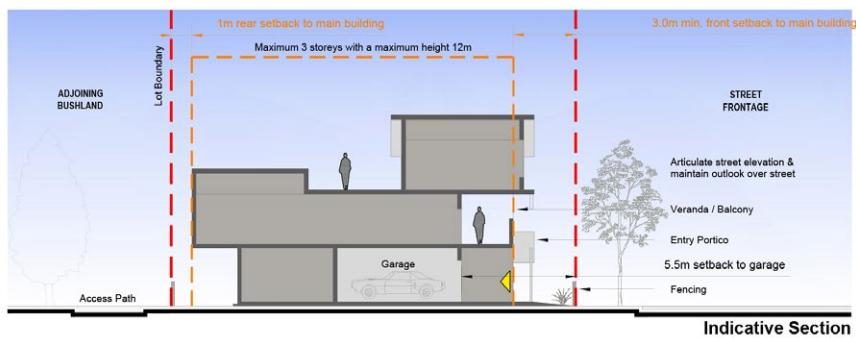


#### Legend



Landscaping 2m x 2m area within lot.

## 20. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT



Landscaping 2m x 2m area within lot.

Note: drawings are not to scale

### DETAIL

#### URBAN TERRACE ALLOTMENTS Lot 37

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	1m
Side Setback (1st & 2nd Storey)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m

#### Landscaping

2m x 2m area within lot.

## DETAIL

### URBAN TERRACE ALLOTMENTS Lots 38 to 41 and 44 to 46

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	1.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	n/a
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> or 12m<sup>2</sup> for lots under 160m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

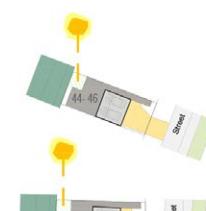
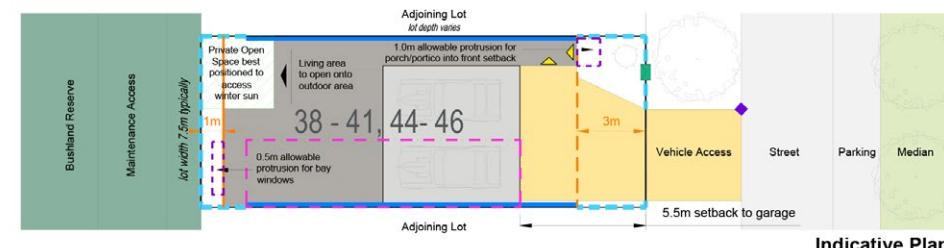
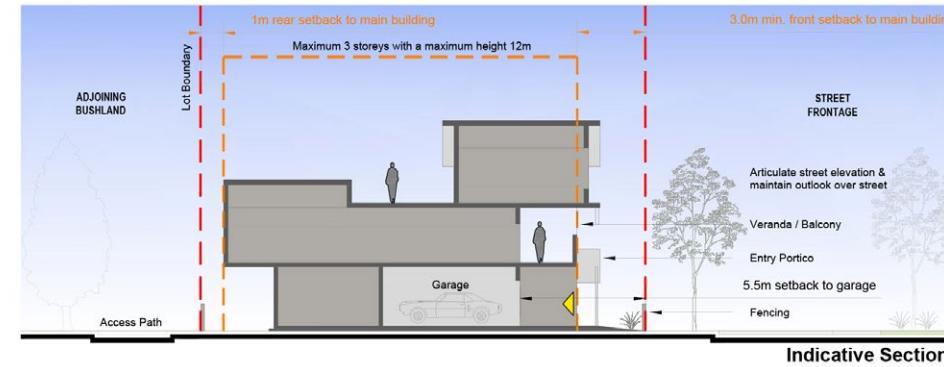
### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m

### Landscaping

2m x 2m area within lot.

## 21. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT

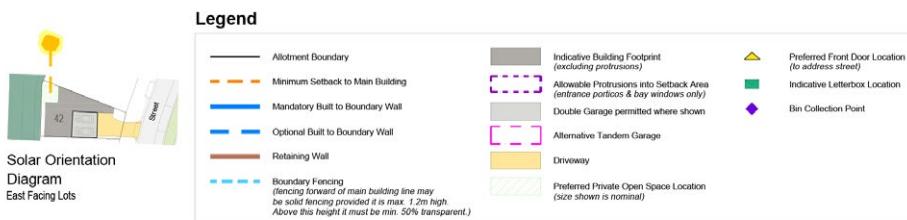
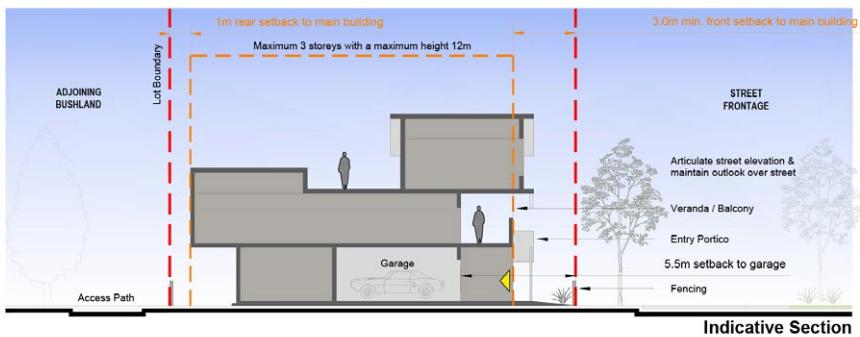


### Legend

— Allotment Boundary	Indicative Building Footprint (excluding protrusions)	▲ Preferred Front Door Location (to address street)
— Minimum Setback to Main Building	Allowable Protrusions into Setback Area (entrance porches & bay windows only)	■ Indicative Letterbox Location
— Mandatory Built to Boundary Wall	Double Garage permitted where shown	◆ Bin Collection Point
— Retaining Wall	Alternative Tandem Garage	
— Boundary Fencing (fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.)	Driveway	
	Preferred Private Open Space Location (size shown is nominal)	

Landscaping 2m x 2m area within lot.

## 22. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT



Landscaping 2m x 2m area within lot.

Note: drawings are not to scale

### DETAIL

URBAN TERRACE ALLOTMENTS  
Lot 42

Front Setback - Habitable Rooms Garages	3.0m 5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	1m
Side Setback (1st & 2nd Storey) Built to Boundary Wall	0.025m*
Side Setback Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

### Landscaping

2m x 2m area within lot.

## DETAIL

### URBAN TERRACE ALLOTMENTS

Lot 43

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	1.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	n/a
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

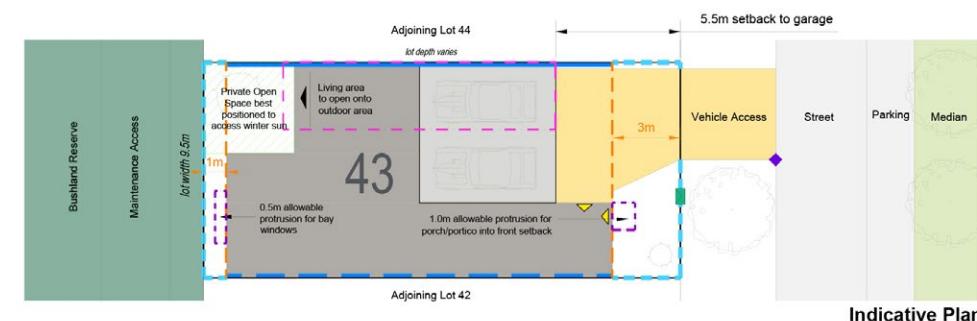
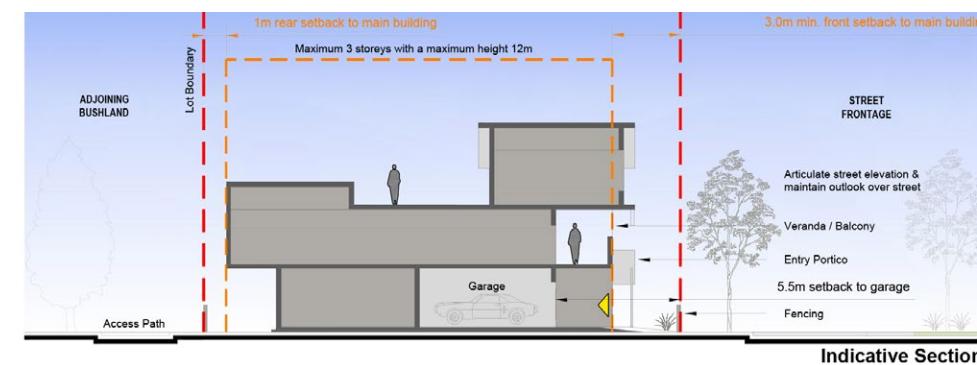
#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

#### Landscaping

2m x 2m area within lot.

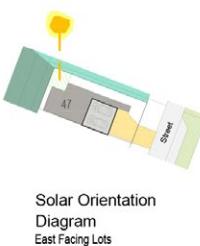
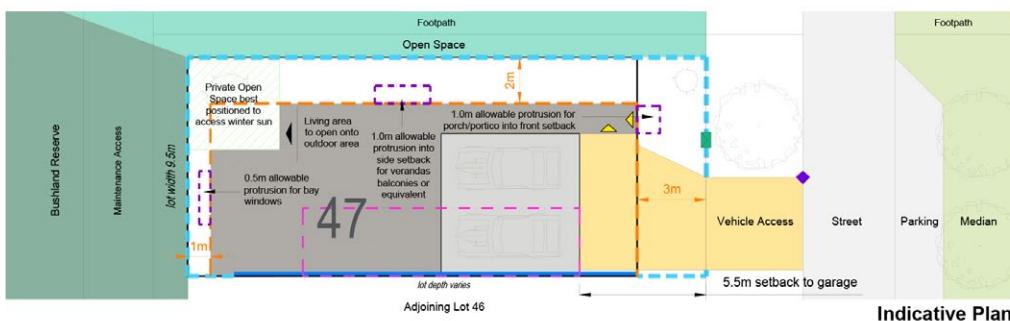
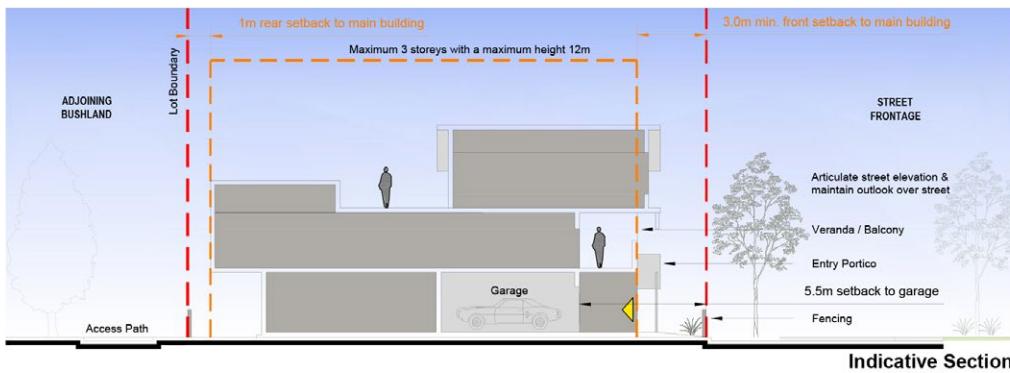
## 23. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT



#### Legend

Allotment Boundary	Indicative Building Footprint (excluding protrusions)	Preferred Front Door Location (to address street)
Minimum Setback to Main Building	Allowable Protrusions into Setback Area (entrance porticos & bay windows only)	Indicative Letterbox Location
Mandatory Built to Boundary Wall	Double Garage permitted where shown	Bin Collection Point
Optional Built to Boundary Wall	Alternative Tandem Garage	
Retaining Wall	Driveway	
Boundary Fencing (fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.)	Preferred Private Open Space Location (size shown is nominal)	

## 24. SITE SPECIFIC CONSIDERATIONS URBAN TERRACE ALLOTMENT



### Legend

— Allotment Boundary	Indicative Building Footprint (excluding protrusions)
— Minimum Setback to Main Building	Indicative Front Door Location (to address street)
— Mandatory Built to Boundary Wall	Indicative Letterbox Location
— Retaining Wall	Bin Collection Point
— Boundary Fencing (Fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.)	
	Alternative Tandem Garage
	Driveway
	Preferred Private Open Space Location (size shown is nominal)

Note: drawings are not to scale

### DETAIL

#### URBAN TERRACE ALLOTMENTS Lot 47

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	1m
Side Setback (1st & 2nd Storey)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

### Landscaping

2m x 2m area within lot.

## DETAIL

### STANDARD TERRACE ALLOTMENTS

Lot 48

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Side Setback (1st & 2nd) Built to Boundary Wall	0.025m*
Side Setback Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

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#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

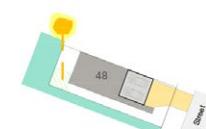
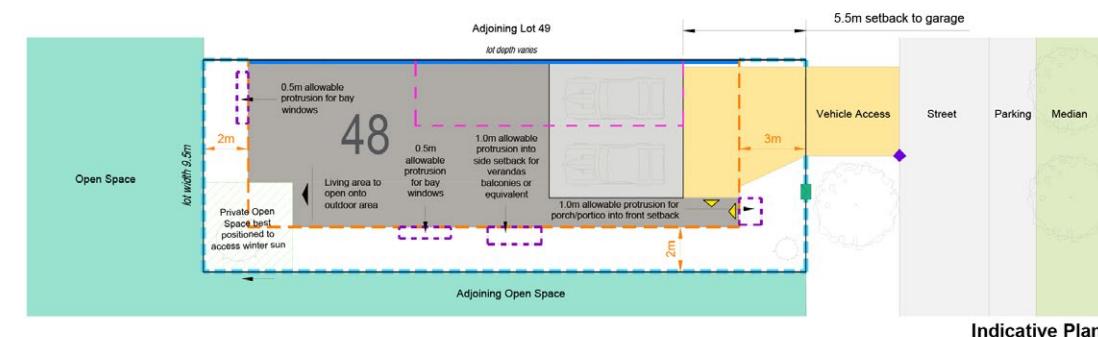
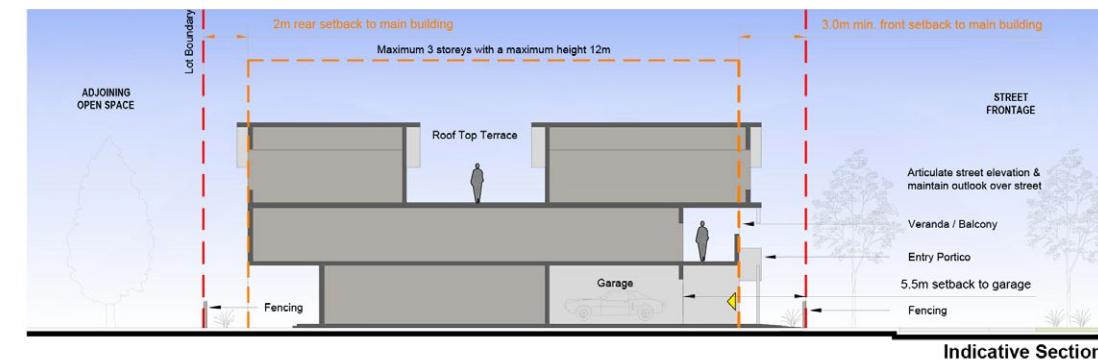
#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

#### Landscaping

2m x 2m area within lot.

## 25. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT

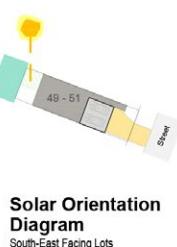
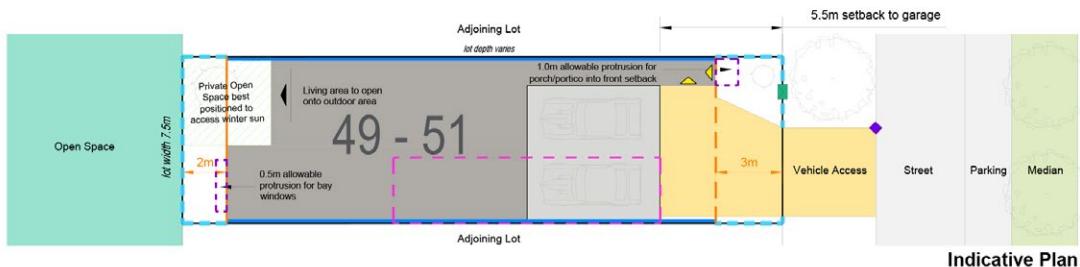
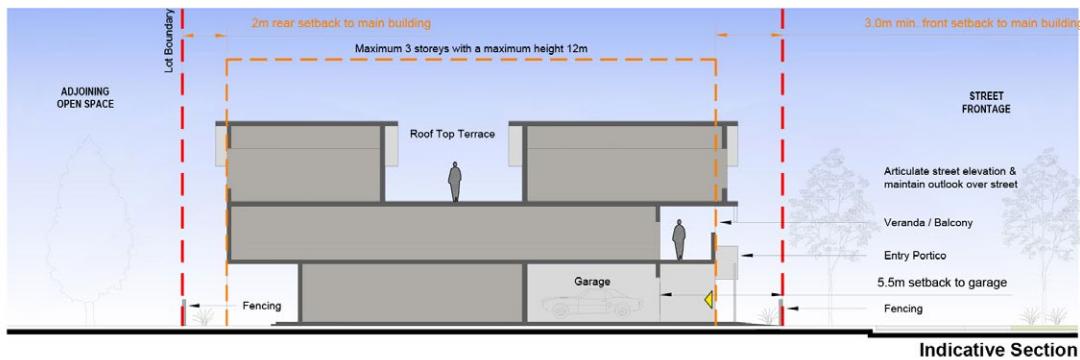


**Solar Orientation Diagram**  
South-East Facing Lots

#### Legend

— Allotment Boundary	Indicative Building Footprint (excluding protrusions)
— Minimum Setback to Main Building	Indicative Protrusions into Setback Area (entrance porticos & bay windows only)
— Mandatory Built to Boundary Wall	Double Garage permitted where shown
— Retaining Wall	Alternative Tandem Garage
— Boundary Fencing (fencing forward of main building line may be solid fencing provided it is max. 1.2m high. Above this height it must be min. 50% transparent.)	Driveway
	Preferred Private Open Space Location (size shown is nominal)

## 26. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



Note: drawings are not to scale

### DETAIL

#### STANDARD TERRACE ALLOTMENTS Lots 49 to 51

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticoes	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

### Landscaping

2m x 2m area within lot.

## 27. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT

### DETAIL

#### STANDARD TERRACE ALLOTMENTS

Lots 52 to 58

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 2 storeys (8.5m above natural ground level), where roof top terraces are defined as a 'storey'.

#### Outdoor Living Space

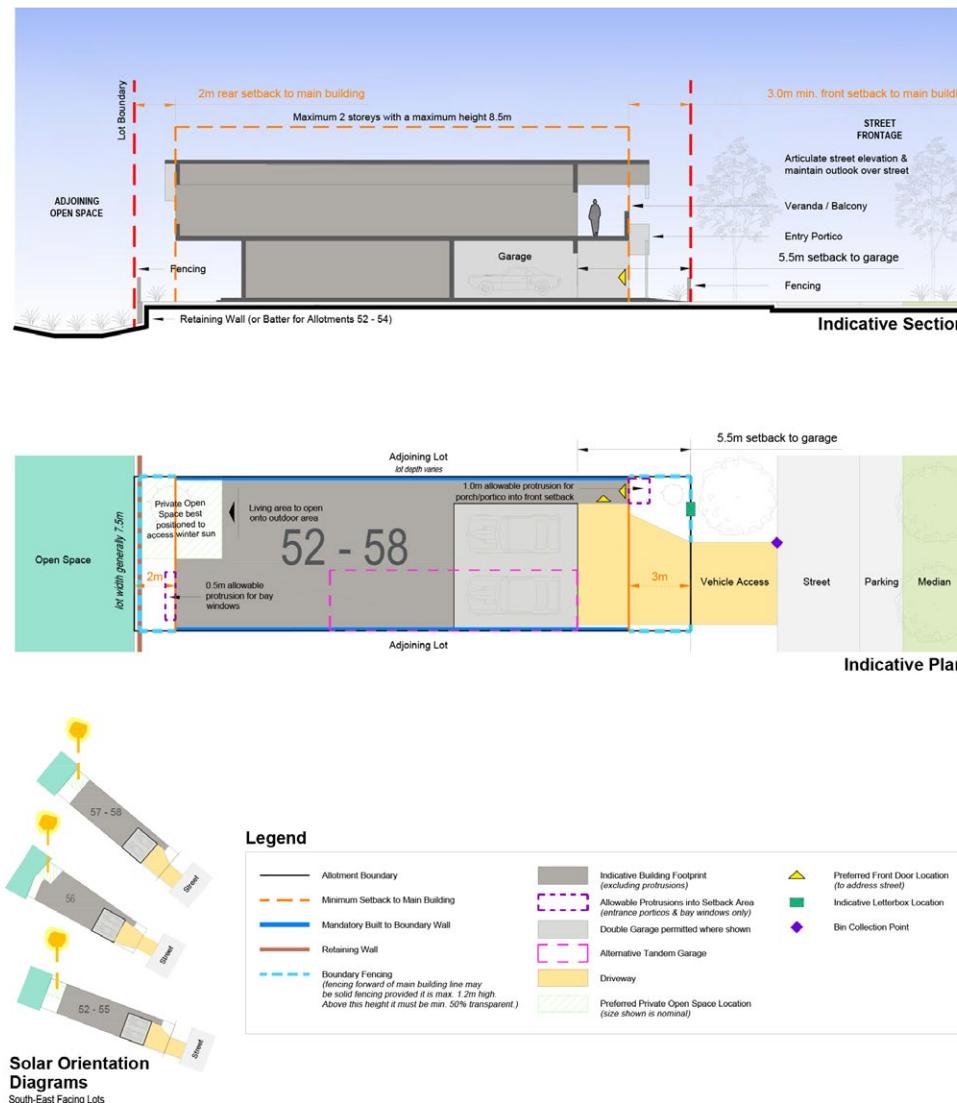
All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

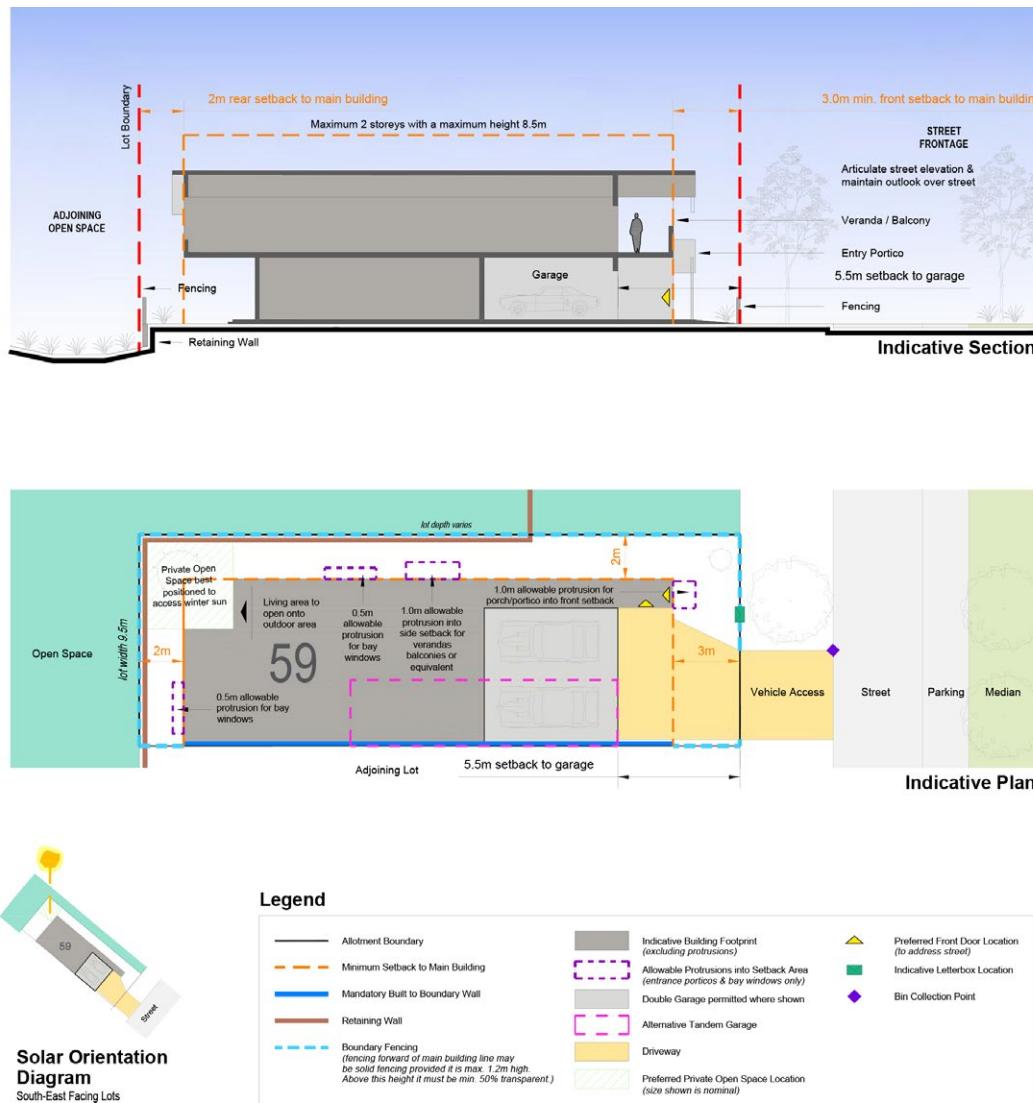
#### Landscaping

2m x 2m area within lot.



Landscaping 2m x 2m area within lot.

## 28. SITE SPECIFIC CONSIDERATIONS STANDARD TERRACE ALLOTMENT



### DETAIL

STANDARD TERRACE ALLOTMENTS  
Lot 59

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	2.0m
Side Setback (1st & 2nd)	Built to Boundary Wall
	0.025m*
Site Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticoes	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 2 storeys (8.5m above natural ground level), where roof top terraces are defined as a 'storey'.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

### Landscaping

2m x 2m area within lot.

## DETAIL

### LAKEFRONT TERRACE ALLOTMENTS

Lot 95

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	7.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	2.0m
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

### Water Storage Easement

Refer to Lake Boundary Control Plan on Page 16. Any structure of work within the Water Storage Easement will require Council Approval.

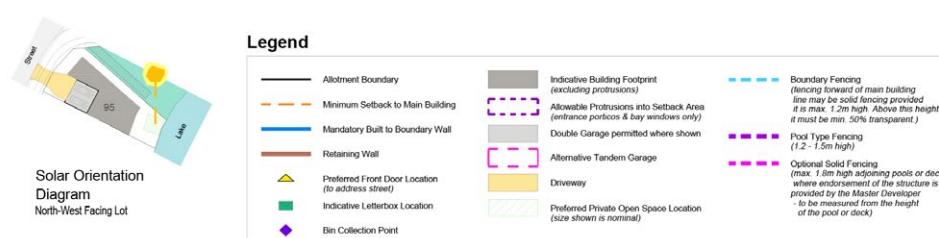
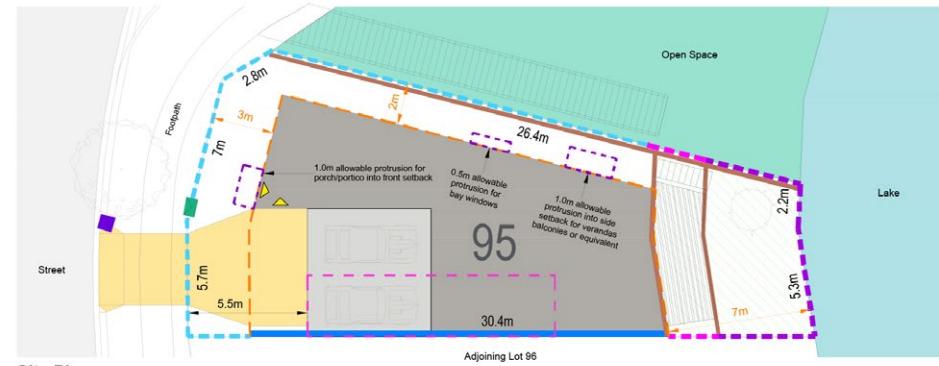
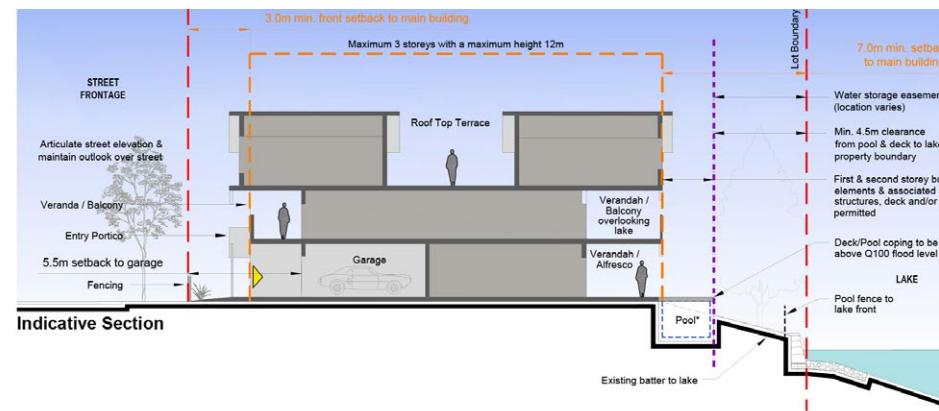
### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

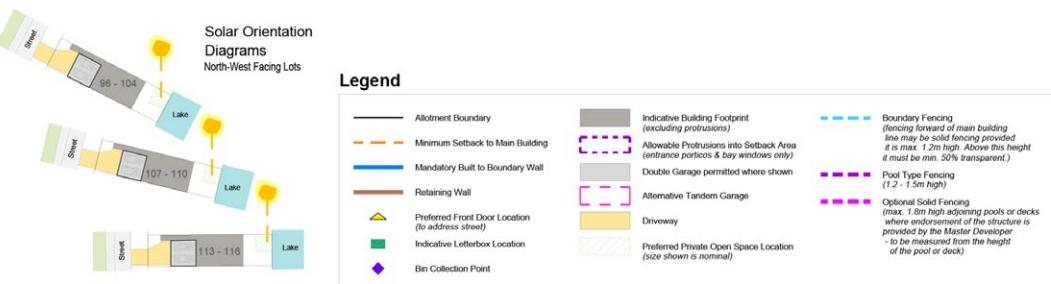
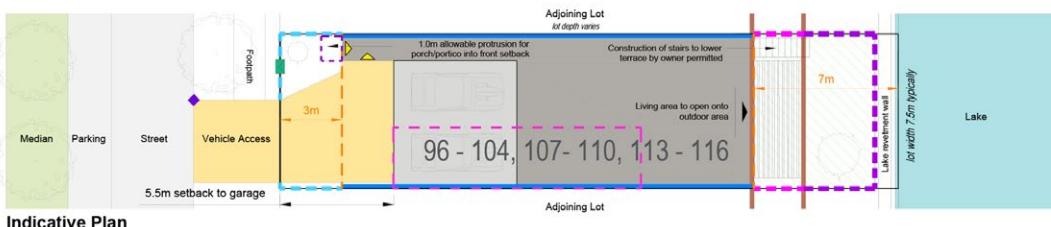
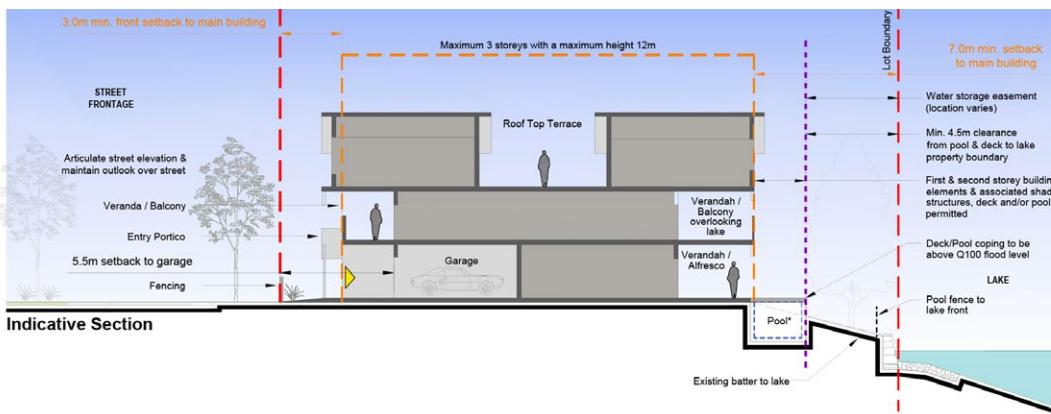
### Landscaping

2m x 2m area within lot.

## 29. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT



## 30. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT



Note: drawings are not to scale

### DETAIL

#### LAKEFRONT TERRACE ALLOTMENTS Lots 96 to 104, 107 to 110 and 113 to 116

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	7.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Water Storage Easement

Refer to Lake Boundary Control Plan on Page 16. Any structure of work within the Water Storage Easement will require Council Approval.

#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m

#### Landscaping

2m x 2m area within lot.

## DETAIL

### LAKEFRONT TERRACE ALLOTMENTS

Lots 105 and 111

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	7.0m
Side Setback (1st & 2nd) Built to Boundary Wall	0.025m*
Side Setback Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Water Storage Easement

Refer to Lake Boundary Control Plan on Page 16. Any structure of work within the Water Storage Easement will require Council Approval.

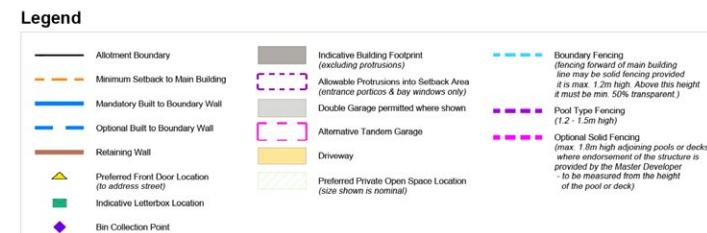
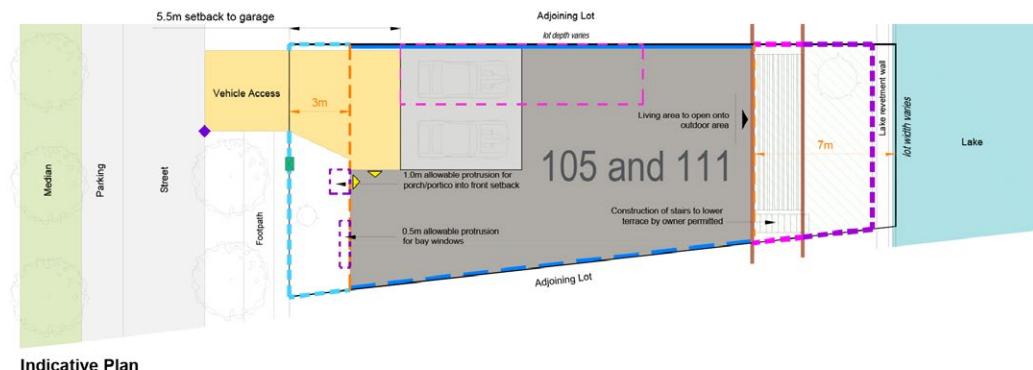
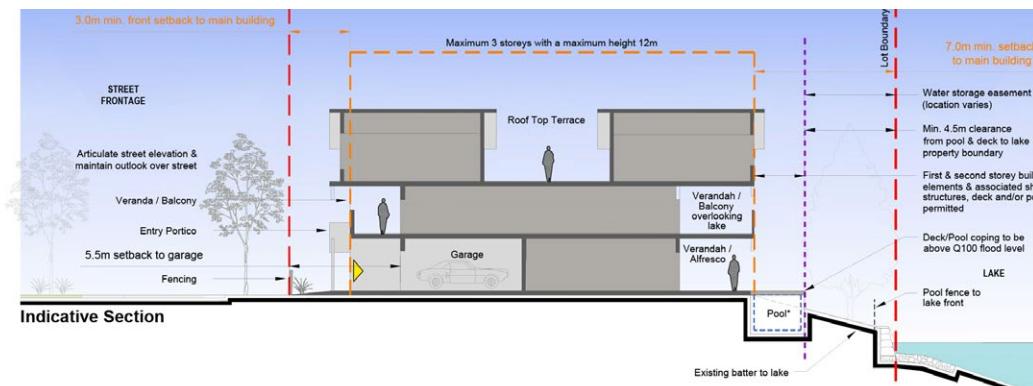
#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m

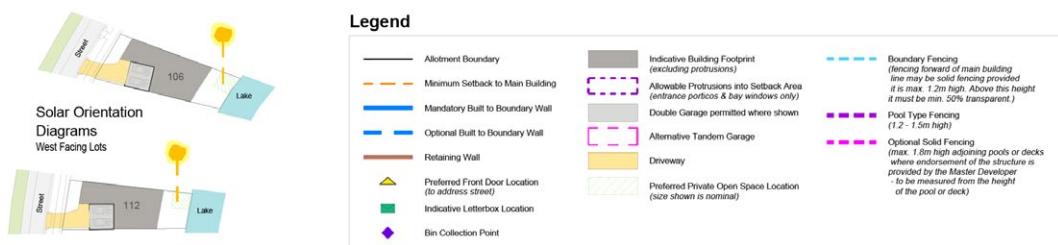
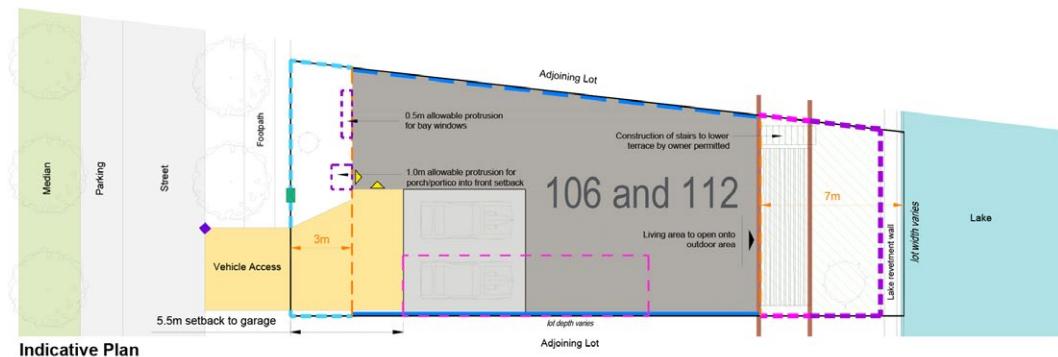
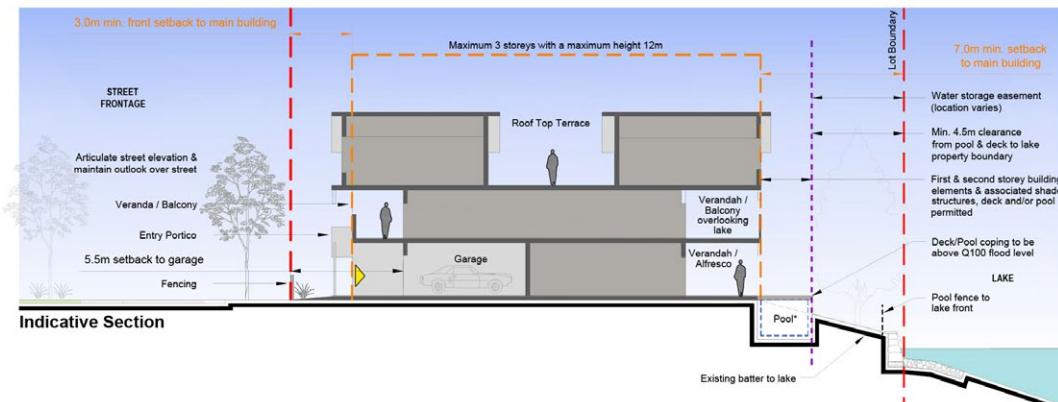
#### Landscaping

2m x 2m area within lot.

## 31. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT



## 32. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT



Note: drawings are not to scale

### DETAIL

#### LAKEFRONT TERRACE ALLOTMENTS Lots 106 and 112

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	7.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	1.0m
Corner Lots (Secondary Street) habitable rooms	N/A
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Water Storage Easement

Refer to Lake Boundary Control Plan on Page 16. Any structure of work within the Water Storage Easement will require Council Approval.

#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

#### Landscaping

2m x 2m area within lot.

## DETAIL

### LAKEFRONT TERRACE ALLOTMENTS

Lots 117

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms (1st & 2nd)	7.0m
Side Setback (1st & 2nd)	
Built to Boundary Wall	0.025m*
Side Setback	
Non Built to boundary Wall	N/A
Corner Lots (Secondary Street) habitable rooms	2.0m
Site Cover (maximum)	N/A
Allowable encroachments	
Entrance porches / porticos	1.0m
Verandahs and balconies	1.0m
Bay windows	0.5m
Eaves (exc gutters)	0.6m

#### Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level), where roof top terraces are defined as a 'storey'.

For three (3) storey buildings, the third storey is an integral part of the overall design of the building; is setback as per the second story in the allotment setback table; and for lakefront lots the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

#### Outdoor Living Space

All lots over 160m<sup>2</sup> have an area at least 16m<sup>2</sup> in size (excluding rainwater tanks unless underground) and must be consolidated in one location. All Private Open Space must remain uncovered.

#### Water Storage Easement

Refer to Lake Boundary Control Plan on Page 16. Any structure of work within the Water Storage Easement will require Council Approval.

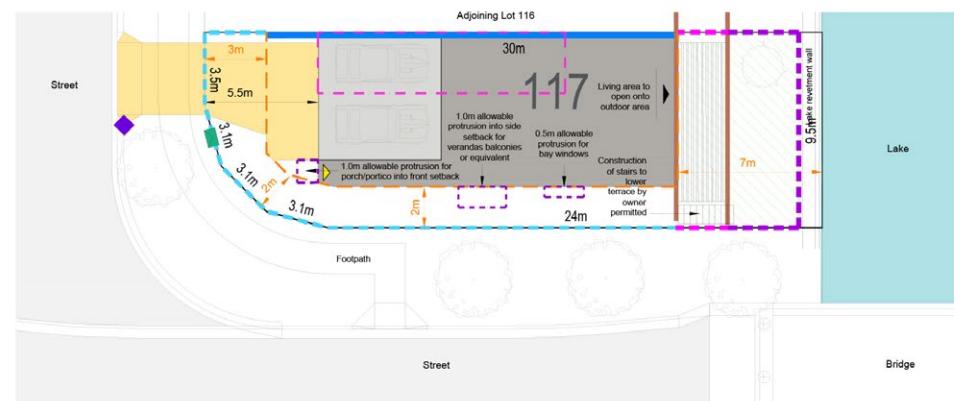
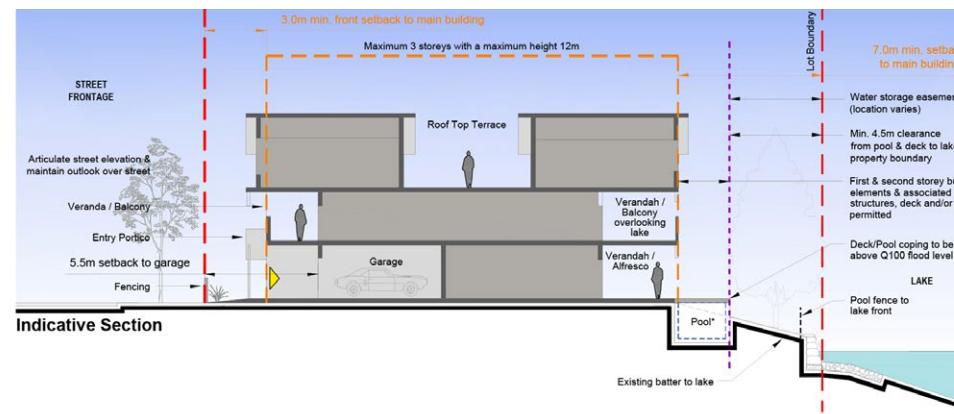
#### Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor. Driveway width at verge maximum 3.5m.

#### Landscaping

2m x 2m area within lot.

## 33. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT



Site Plan



Legend

— Allotment Boundary	Indicative Building Footprint (excluding protrusions)	— Boundary Fencing (fencing forward of main building line may be solid fencing provided it is no more than 1.5m high. Above this height it must be min. 50% transparent)
— Minimum Setback to Main Building	Allowable Protrusions into Setback Area (entrance porches & bay windows only)	— Pool Type Fencing (1.2 - 1.5m high)
— Mandatory Built to Boundary Wall	Double Garage permitted where shown	— Optional Solid Fencing (max. 1.6m high adjoining pools or decks where endonsed or the structure is provided by the Master Developer to be measured from the height of the pool or deck)
— Retaining Wall	Alternative Tandem Garage	
▲ Preferred Front Door Location (to address street)	Driveway	
■ Indicative Letterbox Location	Preferred Private Open Space Location (size shown is nominal)	
◆ Bin Collection Point		

## 34. ADDITIONS AND EXTENSIONS

Additions and extensions to the dwelling house, outbuildings and other structures, including new verandahs, pergolas, outbuildings, sheds, swimming pools and garden structures are subject to the same covenant requirements and application for approval must be made to the Seller and the local authority in the same manner as the original building applications.

## 35. MAINTENANCE OF LOTS

During construction it will be the responsibility of the Buyer to ensure that rubbish including site excavations and building materials is kept in such a manner that the community presentation and safety is not effected. Excessive growth of grass or weeds upon the Lot will also need to be maintained to up hold the visual amenity of Sunshine Cove.

## 36. BUILDING WORKS

It is the Buyers responsibility to ensure that their builders / contractors working on site comply with environment controls that are reflective of current best practice, meet Sunshine Coast Regional Council standards and work health and safety measures. During construction, access will only be permittable from the front of the Lot and Buyers will be responsible for any necesary rectification works to adjoining property, parklands, streetscape or land owned by the Developer.

It is the responsibility of the Buyer and the Buyers builder / contractor to install appropriate sediment control measures onsite prior to construction commencing and ensure they are maintained accordingly.

The Buyer agrees to substantially commence construction in accordance with the approved Development and Construction Application within six months from the date of settlement.

Buyers must be aware that construction is to be contained within their allotment. In addition, special consideration must be made to house construction ensuring minimal or no interruption or impact to neighbour allotments, including the storage of materials and subcontractor parking. Buyers should also provide communication to their neighbours before construction commences.

## 37. ADVERTISING SIGNS

Sunshine Cove's residential community quality presentation standard is to be held in regard in consideration of the use of advertising signs on individual lots.

A single advertising device may be installed on a temporary basis, for the purpose of advertising the property for sale or lease to a maximum size of 2m x 1m. The advertising sign must be supported by two posts painted to compliment the colour of the signage.

## 38. PUBLIC USE OF LAKE WAY

Swimming in the lake or water way at Sunshine Cove is prohibited and is not encouraged or advisable.

Water based activities (where there is no direct contact between an individual and the water) such as kayaking, canoeing and rowing are permitted.

The Developer will not be held liable for any injury, accident or death to members of the public swimming or undertaking water activities.

The use of motorised activities on the waterways is also prohibited by the Sunshine Coast Regional Council.

## 39. INFORMATION SUPPLIED BY SELLER

Any information supplied by or on behalf of the Seller is supplied for the convenience of the Buyer and does not form part of the Contract. The accuracy of any information supplied is not warranted by the Seller and the Buyer acknowledges that it has entered into this Contract solely on the basis of the Buyer's own investigation. The Seller will not be liable in Contract or in Tort for the accuracy, adequacy or suitability of any information, documents or advice in relation to the condition of the Lot or its surroundings.

## 40. LEGAL DUTY OR OBLIGATION

The Buyer and the Seller acknowledge and agree that these provisions relating to building covenants do not create any legal duty or obligation for the benefit of or enforceable by a third party in terms of Section 55 of the Property Law Act 1974 as amended and the operation of that section is hereby expressly excluded in respect of this Contract.

## 41. NO MERGER

The buyer agrees that the provisions of this Covenant will not merge on the completion of this Contract.

## 42. ASSIGNMENT

The Buyer will not sell, transfer or otherwise dispose of the Land without first delivering to the Seller a Deed of Covenant given by the Buyer, Transferee or Disponente in favour of the Seller containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further Buyer, Transferee or Disponente.

Such documentation is available by contacting the Seller and or the Seller's solicitor.

## 43. INCONSISTENCY

If there is any inconsistency between these covenants and a contract of sale between the Seller and the Buyer, the terms of the contract of sale will prevail to the extent of any inconsistency.

## 44. SEVERANCE

If anything in these covenants:

(a) is unenforceable, illegal or void; or  
(b) makes any covenant unenforceable, illegal, void or voidable, then it is severed and the rest of the covenants remain in force.

If it is held by a court that part of these covenants are:

(a) void, voidable, illegal or unenforceable; or  
(b) makes these covenants void, voidable, illegal or unenforceable, that part will be severed from this document.



The illustrations and imagery included within this document are for illustrative purposes only and as such are subject to change.

This publication was designed and produced by Carlosus

## 45. COUNCIL DEVELOPMENT CONTROL NOTES

*Any information supplied by, or on behalf of the Seller, is supplied for the General Requirements:*

1. Minor variations to the approved Plan of Development for individual lots to suit specific conditions are to be assessed as a request for consideration as "minor change to development approval" and accompanied by the relevant application fee.
2. It is the owner's, builder's and building certifier's responsibility to ensure compliance with relevant building standards in relation to common built to boundary walls with respect to termite protection, water proofing and drainage to ensure no external impact to neighbouring properties..
3. Works within the drainage easement (to the lake) are permitted only in accordance with Council approved drawing: 22153-195 Lake Boundary Control - Freehold Allotments - Standard Lake Edge. All works must be approved by Council, refer to Property Note.
4. Building Setbacks and Siting Controls are as per the Allotment Setbacks Table and the Development Controls unless dimensioned otherwise on the Setback Plan.

### *Building Height*

5. Buildings and structures are not higher than 3 storeys and 12 meters above natural ground level. Roof top terraces are defined as a 'storey'.
6. 2 storeys and not more than 8.5m is required for lots 52 - 68, 79 and 80.
7. 3 storeys and not more than 8.5m is required for lots 30 - 33.
8. For 3 storey buildings, the third storey: a. is an integral part of the overall design of the building; b. is setback as per the second storey in the allotment setback table; and c. for lakefront lots, the third storey must respect the boundary setbacks defined for the second story in the Allotment Setbacks Table. For all other lots the site cover of the third storey must not exceed 40% of the total site area.

### *Level Changes at Lot Boundaries*

9. The level difference between building slabs where there is a level change between lots with adjoining built to boundary walls must not exceed 200mm.

### *Boundary Fencing*

10. For all lots, fencing to the street and to boundaries shared with open space or pedestrian linkages may be solid fencing provided it is a maximum height of 1.2m. Above this height it must be min. 50% transparent.

11. Solid fencing, min 1.8m high, is required to adjoining lot boundaries where walls are not built to boundary. This solid screen fencing must not extend forward of the front building line of a lot. Optional solid fencing with a maximum height of 1.8m is permitted (to be measured from the height of the pool or deck) where adjoining pools and decks where endorsement of the structure is provided by the Master Developer. All fencing for lakefront lots must be in accordance with the Council approved Lake Boundary Control Plan referred to in Control No 3 above.

### *Other*

12. All clothes drying and rubbish storage areas are to be screened from the street or lane or from other open space areas.

## 46. PROPERTY NOTES

### **RAL20/0115- Connections to 'Conservation and Habitat' lot**

#### **1. The following notation applies to approved Lots 34 & 37-45:**

Connections to the 'Conservation and Habitat' Lot for each private lot must be located entirely within the lots they serve. No connecting structures (including ramps, stairs or steps) are permitted within the 'Conservation and Habitat' Lot. As such all public liability and ongoing maintenance responsibilities in relation to these connections are borne by the lot owner (not Council).

### **RAL20/0115 – Property Access Driveway**

2. The following notation applies to approved Lots 30-32 and 34-35: To ensure that the streetscape and integrity of bin collection is maintained, vehicle access to this lot must be from the constructed driveway only unless otherwise approved by Council (refer to Council Approval RAL20/0115). 3. The following notation applies to approved Lots 33 and 36 and 117: To ensure that the streetscape and integrity of bin collection is maintained, vehicle access to this lot must be from the constructed driveway crossover only unless otherwise approved by Council. Constructed driveways must not exceed a width of 3.5m within the road reserve and 4.5m at the invert of kerb for the inclusion of tapers unless otherwise approved by Council (refer to Council Approval RAL20/0115).

4. The following notation applies to approved Lot 33 and 36: To ensure the safety and efficiency of the road network vehicle access to this lot must be from Cheyenne Way only (refer to Council Approval RAL20/0115).

5. The following notation applies to approved Lot 117: To ensure the safety and efficiency of the road network vehicle access to this lot must be from the new road only (refer to Council Approval RAL20/0115).

### **RAL20/0115– Bin Pads**

6. The following notation applies to approved Lots 30-32: Bins must be placed on the turfed verge adjacently west of the most western indented parallel parking bay of Cheyenne Way on collection day.



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