

SAVANNAH PRECINCT DESIGN COVENANT





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1. INTRODUCTION

Evolving over the next 5 to 10 years, Sunshine Cove is destined to become a popular and vibrant community, transforming Maroochydoore and the Sunshine Coast forever. Some 6,000 residents will call Sunshine Cove home with many also enjoying being a part of an extensive and professional business community emerging along the Maroochy Boulevard. Offering architecturally designed lifestyle options including urban laneway and terrace type living, waterfront home sites and a variety of higher density options, Sunshine Cove will become one of the Sunshine Coast's most popular and highly sought after addresses.

The Savannah Precinct is our third residential land release and is situated in the South Western Corner of the Peninsula. With sweeping views of the lake, large landscaped parklands and smaller community gardens that our terrace and laneway allotments face, it is anticipated that the Savannah Precinct will be warmly welcomed to the Sunshine Cove community.

The following Precinct Design Guidelines have been developed to provide buyers, designers and builders with clear and concise design requirements and consideration applicable to individual home sites.



LEGEND

- Subject Site
 - - - Stage Boundary
 - Bus Stop
 - Proposed Park
 - Proposed Landscape Buffer
- Lot Types**
- 8 x 25m Terrace Allotment
 - Corner Terrace Allotment
 - 10m Laneway Allotment
 - Corner Laneway Allotment
 - 8.8m Terrace Allotment
 - 7.5m Terrace Allotment
 - 8m Terrace Allotment
 - 8m Park Terrace Allotment
 - 10m Park Terrace Allotment
 - 8m Lakeside Terrace Allotment
 - 10m Lakeside Terrace Allotment
 - 8m Lake Esplanade Terrace Allotment
 - 10m Lake Esplanade Terrace Allotment
- On Street Parking Bay for Residential
 - 2.5m Wide Pathway
 - 1.8m Wide Pathway
 - 1.5m Wide Pathway
 - - - Maximum Building Location Envelope (for first storey only)
 - - - Front Setback for Second Storey
 - Mandatory Built to Boundary Wall
 - - - Notional Built to Boundary Wall for Garage
 - Preferred Garage Location
 - + Letterbox Location on Primary Frontage
 - + Bin Collection Location
 - + Potential On-Site Parking Locations
 - Preferred Open Space Location



SAVANNAH PRECINCT PLAN



2. DESIGN VISION

The Savannah Precinct features 82 freehold allotments including the very popular rear terrace and laneway allotments as well as introducing the very versatile 6.6m rear loaded terrace allotment – perfect for city living and first time buyers! This precinct sees the return of the ever popular direct waterfront allotments – limited to just 12, they provide the perfect compliment for our water view terrace allotments that feature sweeping water vistas.

Architectural designs, trends and practices will continue to flourish in this precinct, resulting in a diverse and attractive range of two and three storey CBD waterfront and parkfront homes. Each designed on individual lifestyle objectives and all focussed on our enviable lifestyle, featuring the stunning lake at Sunshine Cove.



3. PROTECTIVE COVENANTS AND DETAILED AREA PLANS

3.1. COVENANTS

The Developers of Sunshine Cove will require buyers to enter into these protective covenants as detailed in the Savannah Precinct Design Covenant. These covenants will facilitate high standards of design for individual dwellings and residential streetscapes without limiting choice and opportunity for independent design or sustainable living considerations.

3.2. DETAILED HOUSING PLANS

Detailed housing plans will be required as part of the building approval process. These plans will be prepared by the Buyer, at the Buyers cost, to illustrate elements such as building envelope locations, outdoor living areas and courtyard locations, garage locations, and building heights.

3.3. OTHER APPLICABLE DOCUMENTS

The Savannah Precinct Design Covenant is to be read in conjunction with any other relevant and current statutory documents including, most particularly Plan of Development (RPS Setbacks Plan 22153-111-J), the Queensland Development Code, Building Code of Australia and Standard Building Regulation.



4. APPROVAL PROCESS

4.1 DESIGN ENDORSEMENT BOARD

Development and construction proposed for the home sites will require the endorsement of the 'Sunshine Cove Design Endorsement Board'. Appointed by the developer, The Board comprises of a representative from the developer, an architect and a town planning professional, who will each review the proposed house plan to ensure compliance with the Savannah Precinct Design Covenant.

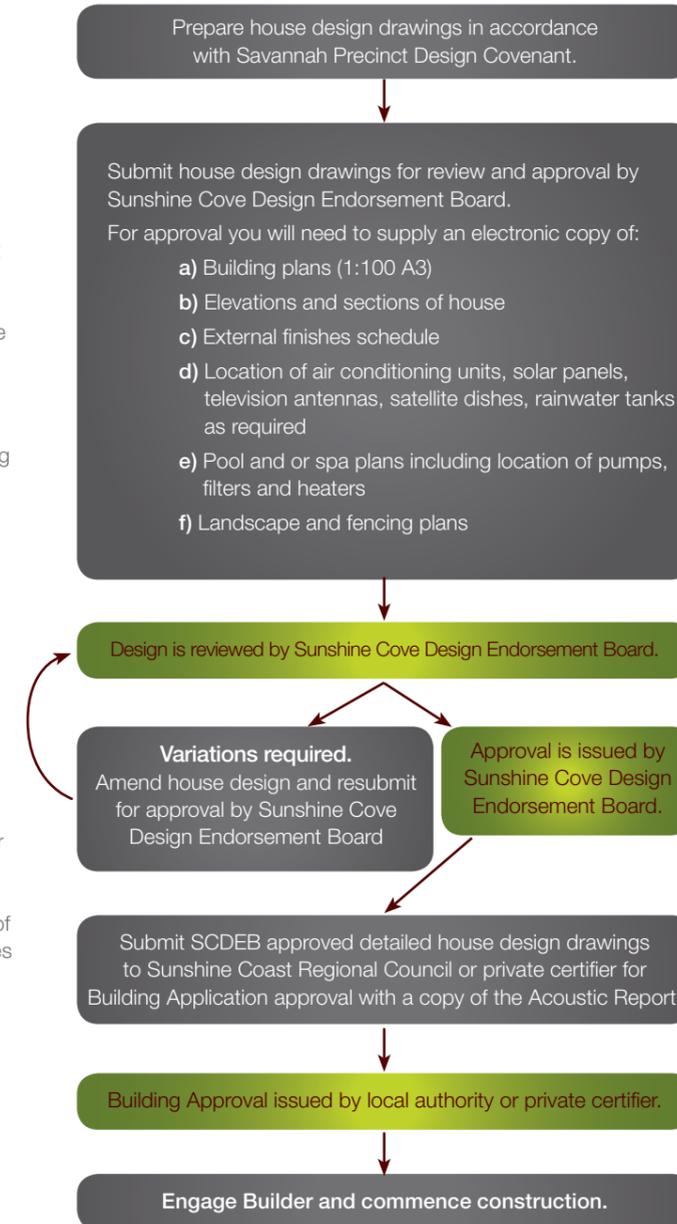
An electronic copy of the full set of working drawings including site plan, floor plan, elevations including proposed built form, external materials and finishes / colours and include location of air conditioning units, TV antennas, solar heating panels, rainwater tanks, along with a detailed design for pools, spas, landscaping and fencing, must be provided to the developer for review.

4.2 BUILDING APPROVAL

Once approval is received, the plans will need to be submitted for building approval through the Sunshine Coast Regional Council or alternatively a private certifier. It is the applicant's responsibility to ensure appropriate documentation and fees are submitted for approval.

A copy of the approved house plan will remain the property of the developer for the purpose of future lot specific referencing. The Buyer acknowledges that the Developer may provide a copy of elevation detail to adjoining property owners to enable complimentary designs to be enacted. Copyright of approved designs remains the property of the Buyer or the Buyers architect / designer and the Buyer indemnifies the Developer against any breach of this.

The Buyer acknowledges that the risk in relation to seeking and obtaining the approval of the Council to the plans and specifications, rests solely with the Buyer notwithstanding that such plans and specifications may have been approved by the Seller.



5. BUILDING FORM

5.1 BUILDING APPEARANCE AND STREETScape

Home designs should be reflective of Sunshine Coast lifestyle, architecture focus and type. Building elevations should feature a composite of external wall finishes with elevations to be articulated to provide visual interest. Blank facades are to be avoided through the provision of projections and indentations on floor plans with resultant shadow effects and corresponding roof elements. The street façade of the building should be detailed to provide visual richness as well as enabling sustainable and environmental considerations to be implemented (reflective of individual identity). This can be achieved through:

- The application of colour, texture and changes in materials;
- The use of elements such as awnings, balconies and glazing. Dwellings should enable passive surveillance from living rooms and balconies;
- Front entries are clearly identifiable from the street through expressed elements such as porticos, porches, entry statements etc;
- Elevations, which reflect the desired character through the application of a mix of materials and colours as, outlined in the introduction and section 6.2 *Wall Materials*.

5.2 SECONDARY STREET ELEVATIONS

To promote sustainable building practices and enhance aesthetics, diversity and security on corner lots is required to address both the primary and secondary streets. The secondary street elevation is to feature a suitable level of detail including windows, is consistent with that of the primary street elevation and blank walls are to be avoided.

5.3 WATER ORIENTATION

Homesites along the waterfront will be required to address the front and rear of the property and these designs will need to comply with the Sunshine Coast Regional Council approved RPS drawing titled "Lake Boundary Control - Freehold Allotments" dated November 2012, refer 5.6. The use of outdoor entertaining areas including pools and gardens are encouraged with required consideration of residents privacy through the use of landscaping and planting, fencing and screenings whilst maintaining an open and transcending environs to compliment the public walkways and amenities within the Savannah Precinct.

5.4 PRIVATE OPEN SPACE

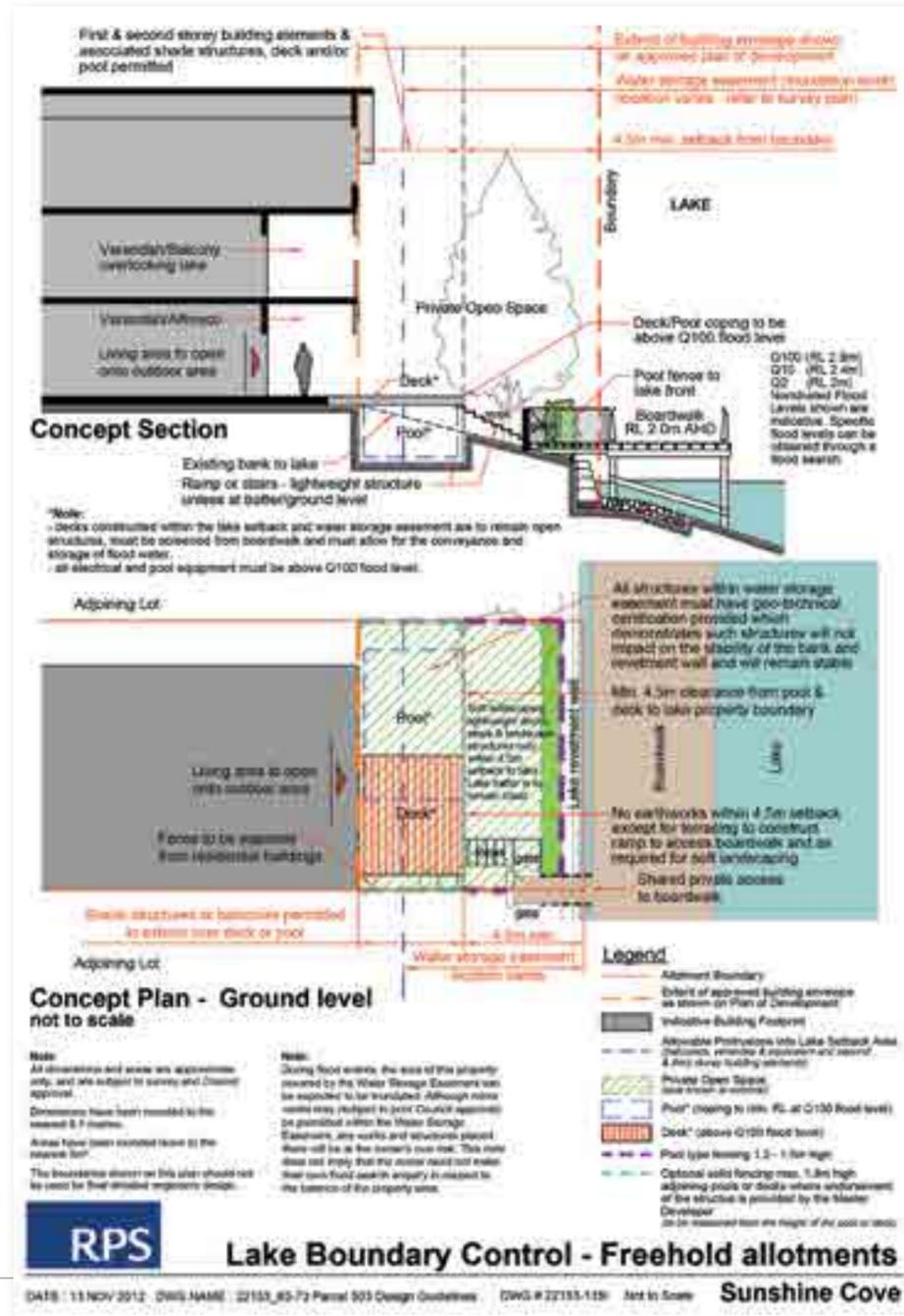
Each design is required to include private open space of at least 16m² in size and has no dimension less than 3m, that is accessible from the living area of the dwelling.

5.5 ROOF FORM

Roof pitches shall be complimentary to the home design with the following conditions to apply:

- The minimum eaves overhang is 400mm except at nil side setbacks, or where limited by side setback requirements, or at areas of extended roof cover such as verandas, entry porticos and awnings, or at non-habitable areas such as garages and stores.
- At gables the roof verge is to have minimum 200mm overhang.
- Flat roofs shall generally be hidden behind parapets.
- For habitable spaces within a roof, the pitch maybe broken by dormer windows.
- Window Treatments – To ensure privacy to adjoining and or neighbouring allotments, side walls must be setback from the side property boundary where windows have been installed and these windows must provide sufficient and adequate screening to enhance livability, security and privacy.

5.6 LAKE BOUNDARY CONTROL - FREEHOLD ALLOTMENTS



5.7 ENTRANCE PORTICOS

Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks on Pages 19 to 28, provided that:

- the portico is located not less than 1m from the front property boundary (2m for all Lakefront Terrace lots);
- the height of the portico does not exceed 4.5m;
- the portico remains open and not enclosed; and
- the width of the portico is limited to the front entry only.

5.8 PORCHES, BALCONIES AND VERANDAHS

Porches, balconies, verandahs or similar may extend up to 1.0m into the front setback area and the side street setback for corner lots, provided they remain open and not enclosed.

5.9 POOLS

The use of pools and spas is encouraged at the rear of waterfront properties but is restricted by standard building requirements. Pools and or spas, pool equipment including electrical pumps along with pool fencing must comply with the Sunshine Coast Regional Council approved RPS drawing titled "Lake Boundary Control – Freehold Allotments" dated November 2012, as shown in 5.6 above.

5.10 BUILDING HEIGHT, SITE COVER AND SETBACKS

The maximum allowable height for all dwellings, the site cover and setbacks for individual allotments is to be as shown on the approved RPS Setbacks Plan 22153-111-J for all created allotments and is detailed in sections 19 to 28 of these covenants.

5.10 SITE LEVELS AND RETAINING WALLS

To maintain views and avoid overlooking issues additional retaining on existing retained boundaries is not permitted. Existing site levels may not be raised by more than 200mm without the specific written approval of the Developers of Sunshine Cove.

5.11 FILL

It is acknowledged that the lots may have been filled. It is the Buyers responsibility to make their own investigations to satisfy any proposed building operation as to the suitability of any footing, foundations or proposed construction given the nature of the lot as to any requirements in that regard. All costs associated with this will be at the Buyers expense.



6. BUILDING MATERIALS

6.1 ROOF MATERIALS

Corrugated Metal Roofing

Corrugated metal roof sheeting is to be of low or neutral visual impact from the specified range of Colorbond colours or Zinalume finish. Bright or dark, heat-absorbing colours are not encouraged. Roof colours are to be selected from the following Colorbond range: (or equivalent) Windspray, Shale Grey, Classic Cream, Surfmist, Dune, Bushland, Sandbank, Ironstone, Pale Eucalypt, Woodland Grey, Paperbark, Jasper.

Tiled Roofs

In keeping with the promoted contemporary urban form, roof tiles are recommended to be slate style in neutral colours. Overly bright colours such as reds, greens or blues and black, dark or deep terracotta colours are not encouraged as they are considered to absorb greater levels of summer heat than lighter colours. Such other colours that achieve a solar absorption value of the roof of not more than 0.55 to achieve 5 star building compliance will also be considered.



6.2 WALL MATERIALS

Walls visible from a street or other public space should feature a composite of construction finishes. A dominant material such as painted or coloured render/bagging, face brickwork, stone, rammed earth or blockwork is to be complemented by minor elements of alternative materials with selections from the following:

- Face and rendered/painted brickwork/blockwork of contrasting colours;
- Stone cladding;
- Clear glazing;
- Weatherboards, painted or natural finish;
- Corrugated sheet metal cladding in custom or mini orb profile in Colorbond or Zinalume finish;
- Compressed fibre cement cladding.
- Natural or raw concrete facades or in their use as a wall material must be finished through the use of paint, render or cladding to compliment the buildings colours.

Tilt up or precast concrete will only be approved for internal walls or where the design exhibits sufficient components of detail and glazing to satisfy the spirit of the guidelines and must comply with the Queensland Development Code.

The use of recycled building materials are also encouraged, to compliment the environmental sustainable philosophy of Sunshine Cove.

6.3 WINDOW MATERIALS

Security screens and doors fitted to external windows and doors on all external and visible faces are to be wire mesh only with no visible reinforcing to enhance natural ventilation. Honeycomb or similarly reinforced security screen are not encourage or permitted.



7. COLOUR

The use of colour will be a valuable means of unifying buildings within Sunshine Cove. In keeping with regional architecture, base colour indicators should be derived from the local natural elements. The intent is not to stifle expression, rather to provide compatible base colours, which can be accentuated through the application of tonal variations and accent colours. In keeping with regional architecture and sustainable building practices.

Application of colours to be as follows:

Base Walls:

Coloured/rendered masonry, rammed earth or stone cladding in earthy/sandy or bush green/blue hues preferably up to a dado type change in materials and/or colour; the intent being to convey a strong earthy base.

Minor Wall Elements:

Colours are to be differentiated from base wall colours with accent colours in pastels or natural timber finishes for weatherboards, sheet cladding and other changes in finish.

Front Fence Colours:

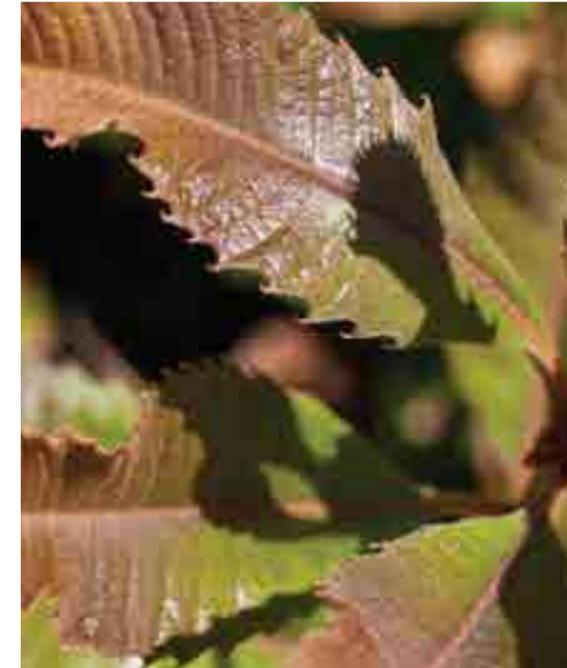
Where fencing is provided by the Developer, the property owner shall not permit any repairs, patching or repainting other than in the same finish and colours as existing, otherwise:

Masonry: Masonry low fencing in front of the building should match or be complimentary to the base wall colour.

Palisade Infill Panels: Where incorporated into front fences, timber palisade infill shall be coloured white or off white.

Notwithstanding the Dividing Fences Act 1953 as amended to the contrary, the Buyer shall not make any claim against the Seller / developer for contribution to the construction of any dividing fences on or within boundaries or between the Lot, or any adjoining lot owned by the Seller.

Fencing to all boundaries of the land other than those to which fencing is restricted by these covenants shall be erected before occupation of the dwelling. Where the Buyer does not intend to construct a front fence, low planting and or hedging may provide suitable screening or privacy.



8. FENCES

8.1 FRONT STREET FENCES

In order to enhance the sense of community fostered at Sunshine Cove, fencing proposed for a primary street boundary is to be low to maintain an open streetscape which facilitates visibility and casual cross surveillance. This is preferred to be in the form of a low rendered masonry wall to a maximum height of 0.9m for piers and 0.8m for permeable panels. Fencing must comply with the Sunshine Coast Regional Council approved RPS drawing titled "Lake Boundary Control – Freehold Allotments" dated November 2012, as shown in 5.6.

8.2 REAR FENCING TO WATERFRONT LOTS

Proposed fencing along the rear boundary must not exceed a maximum height of 1.2m, consist of 1.2m high black square pool fence inserts, framed by 100mm x 100mm treated timber hardwood posts. A full rendered wall or like will not be permitted. Rear fencing must readily demonstrate that it will not hinder, restrict or slow the flow of water from the lake and or a storm event. (The use of pool fencing combined with heavy landscaping / planting is encouraged.)



8.3 SECONDARY STREET FENCES

In line with the requirement for corner residences to address both streets, any fencing along the corner truncation and at least to the setback of the front boundary of the first habitable room of the secondary street boundary is required to be a continuation of low or visually permeable front fencing. The balance of secondary street fencing may be solid to suit particular privacy requirements.

8.4 TERRACE DIVIDING FENCES

All fences dividing adjoining properties shall be a minimum height of 1.8m and constructed of *treated season hardwood, masonry or similar. Such fencing shall not project past the adjoining front building line. Dividing fencing in front of the building line shall be low or visually permeable as required for a front fence. Rendered block inserts to a maximum of 1.8m must be installed to terrace boundaries.

**Within the defined building envelope.*

8.5 FENCING PROVIDED BY THE DEVELOPER

Where desirous, the Developer, at their discretion may construct boundary fencing where it is determined that consistency of design and materials will be beneficial to the amenity of the project.

8.6 FENCING MATERIALS

Fencing for allotments adjoining public land is to be low to maintain an open streetscape, which facilitates visibility and casual cross surveillance. The maximum length of any non articulated fence is 4m, without a landscaped recess or feature panel of 2m. The use of residential pool grade fencing (except to the water side of waterfront allotments), colorbond capped metal, corrugated fibre cement, standard wooden paling boundary fencing is not permitted.



9. BOUNDARY WALLS

Built to boundary wall is mandatory where shown on the plan. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setback Table for non-built to boundary walls.

For terrace lots built to boundary walls shall not exceed the front or rear setbacks for the lot.

On corner terrace lots, optional built to boundary walls fronting the street or lane shall not exceed two storeys or 7.5m in height.

Setbacks are measured to the wall of the building / structure. Eaves (excluding gutters) are permitted to extend up to 600mm within the setback area (other than where walls are built to boundary) provided a minimum side boundary clearance from eaves of 450mm is achieved.

10. RETAINING WALLS

(a) Retaining walls constructed of concrete blockwork and located on the front boundary or within the front boundary setback area must be treated with a rendered finish and colour coordinated with the main building on the lot.

(b) The Buyer acknowledges that the Seller may have caused the construction of a retaining wall on the boundary of the Lot. The Buyer or someone acting on its behalf shall not, when excavating or building on the Lot, interfere with or undermine the structural integrity of the retaining wall. The Buyer agrees to indemnify and keep harmless the Seller and any other affected person (eg. adjoining land owner) from any breach of this covenant.

11. ESTATE WALL

Estate walls that have been installed by the Seller / Developer, for the purpose of enhancing the value of the Lot and also the Estate generally, will not be permitted to be removed, changed, damaged or altered.

12. LANDSCAPING

All landscaping works are to be of high quality and complementary to the house design, are to be submitted for approval by the SCDEB along with house designs and should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

13. VEHICLE ACCESS

Garages may only front the internal streets within the precinct. No direct lot access is permitted to Sunshine Cove Way, Sunrise Drive and Cheyenne Way.

All garages are to be accessed via a single width driveway (max. 3.5m wide, where crossing the verge) as shown on the Subdivision Plan on Page 3 of this document, to maintain space within the verge for street trees, grass and street planning beds. The single width driveway must provide sufficient space of visitor parking for one vehicle, wholly contained within the lot. Alternative solutions may be considered but would be subject to Sunshine Coast Regional Council approval.

14. DRIVEWAYS

Driveways should be constructed of concrete with exposed aggregate or stamped or stencilled surfacing, plain concrete driveways are not permitted nor allowed. Driveways should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

14.1 DRIVEWAYS INSTALLED BY THE DEVELOPER

Driveways and driveway crossovers that have been installed by the Developer may not be altered in any way by the Buyer or any person / entity engaged by or for the Buyer. Ongoing maintenance of these areas will be the responsibility of the Buyer.



15. OTHER CONSIDERATIONS

15.1 SUSTAINABLE BUILDINGS

Buildings must comply with Queensland Development Code MP4.1 Sustainable Buildings for water conservation, energy efficient lighting and hot water.

15.2 SITE SERVICES

All piped and wired services including waste and vent pipes, refrigerant lines and cable ducts are required to be built into walls and are not to be visible from the street or adjoining properties.

15.3 LETTER BOXES

Letter boxes shall be located at the street frontage or public open space frontage as shown on the approved plan of subdivision.

15.4 RUBBISH BINS

PVC or bulk rubbish bins should not be visible from public areas except on rubbish collection days. Bins shall be located in a screened storage area, with consideration shown for neighbouring properties.

15.5 STORES AND OUTBUILDINGS

All dwellings are to have a store with a minimum area of 4m², provided under the main or garage roof and accessible from either outside the dwelling or within the garage area. Separate outbuildings visible from any public area are required to be constructed of wall and roof materials to match the main dwelling, to maintain compliance of 5 star building requirements. Colorbond style metal sheds / lawn lockers or similar are not permitted where visible from public areas.

15.6 AIR CONDITIONERS

As air conditioning plant is noise generating and often unsightly, its impact on adjoining properties and public areas is to be mitigated.

Air conditioning is preferred to be located at ground level to minimise the impact on neighbours and is to be visually concealed from public areas. Any roof mounted air conditioning or evaporative cooling plant

is required to be located so as to not be visible from a street or public open space and is to be finished in a colour to match that of the roof.

Any balcony plant is to be visually and acoustically screened from adjacent dwelling units and visually screened from streets and other public areas.

15.7 TV ANTENNAE AND SATELLITE DISHES

TV antennae are to be located within the roof space or to the rear of the roof, wherever reception permits but not visible from any principle street frontage.

15.8 SOLAR COLLECTORS

In line with sustainability principles, the use of gas boosted solar hot water and swimming pool heating systems is encouraged, however solar collectors must not be visible from public spaces unless there is no other location which affords suitable solar exposure. In this case they should be installed on the plane of the roof, with water tanks ideally located within the roof space.

15.9 RAINWATER TANKS

Each lot must provide a rain water tank and where possible these should not be seen from public areas. The use of underground or roof cavity rain water tanks is encouraged. Tank capacity is as per Sunshine Coast Regional Council policy for stormwater mitigation.

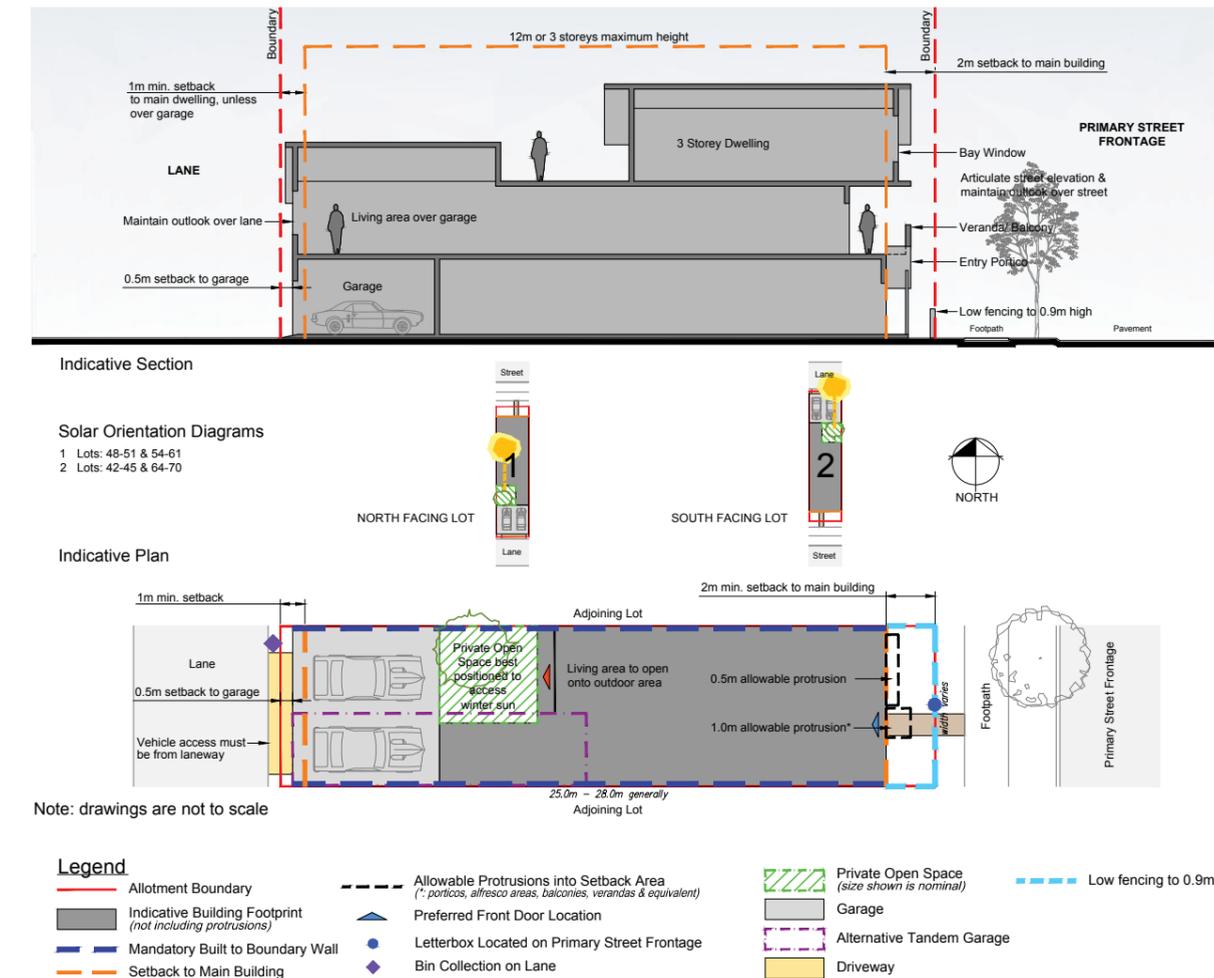
15.10 CLOTHES LINES AND DRYING AREAS

These should be located to access winter sunshine and prevailing breezes and shall not be visible from public areas.

15.11 PARKING, TRAILERS, CARAVANS AND SIMILAR VEHICLES

All cars are required to be parked within individual garages. Any other vehicle, including but not limited to caravans, trailers, boats, jet skis, motorbikes, are to be parked/ housed within the property boundaries and should not be visible from public areas.

16. SITE SPECIFIC CONSIDERATIONS TERRACE ALLOTMENT



DETAIL

Parkfront
Lots 42 – 45, 48 – 51, 54 – 61 and 64 - 70

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	0.0m
Non Built to Boundary Wall	0.0m
Garage Location	Access from Rear - Built along boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.



DETAIL

Lots 41, 46, 52, 53, 62, 63 and 71

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	0.0m
Non Built to Boundary Wall	0.0m
Side Setback to Street	2.0m
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

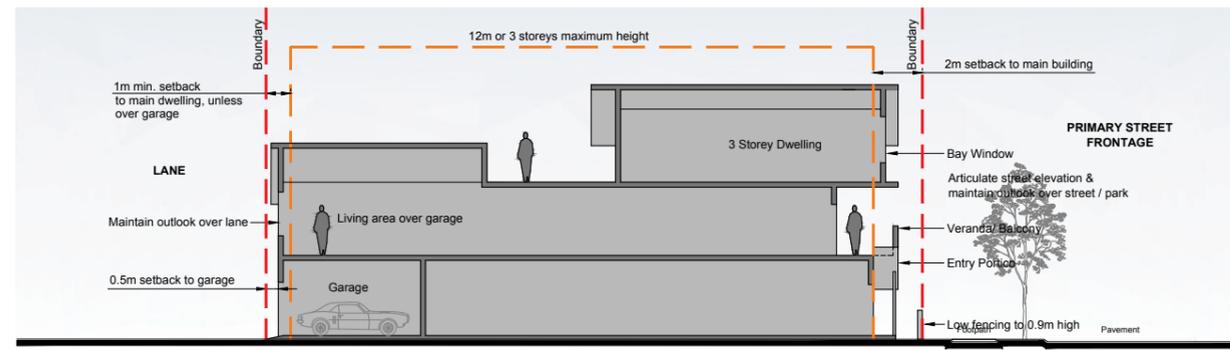
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

17. SITE SPECIFIC CONSIDERATIONS CORNER TERRACE ALLOTMENT



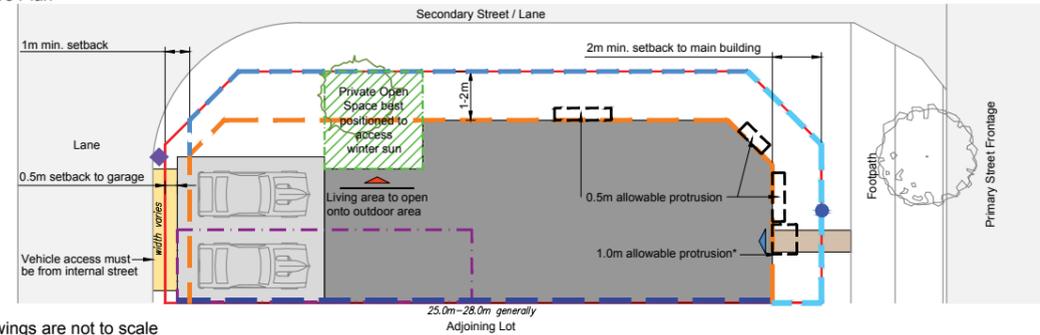
Indicative Section

Solar Orientation Diagrams

- Lot: 52 & 62
- Lot: 53
- Lot: 41 & 63
- Lot: 46 & 71



Indicative Plan

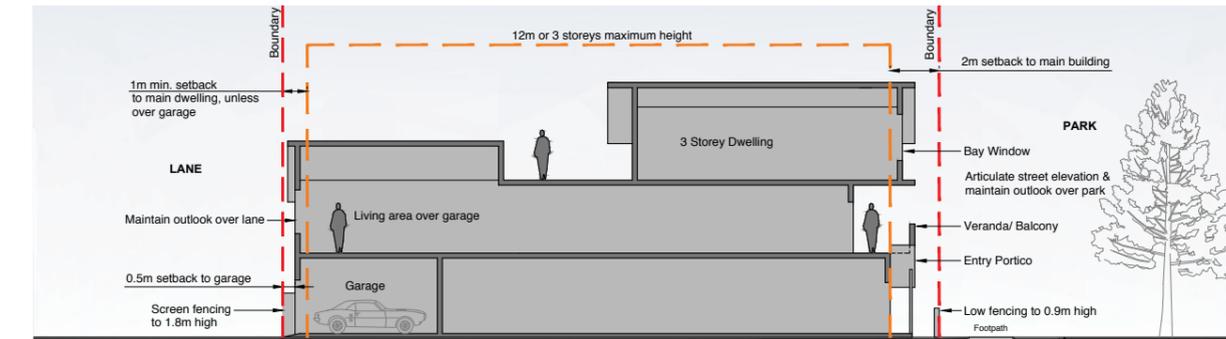


Note: drawings are not to scale

Legend

Allotment Boundary	Allowable Protrusions into Setback Area (*: porticos, allresco areas, balconies, verandas & equivalent)	Private Open Space (size shown is nominal)	Screen fencing 1.8m high
Indicative Building Footprint (not including protrusions)	Preferred Front Door Location	Garage	Low fencing to 0.9m high
Mandatory Built to Boundary Wall	Letterbox Located on Primary Street Frontage	Alternative Tandem Garage	
Setback to Main Building	Bin Collection on Internal Street	Driveway	

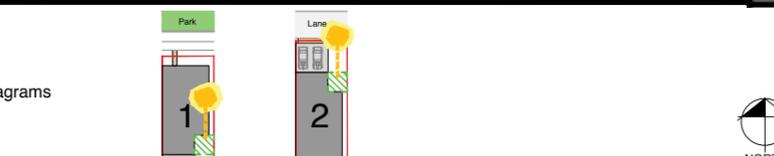
18. SITE SPECIFIC CONSIDERATIONS LANEWAY ALLOTMENT



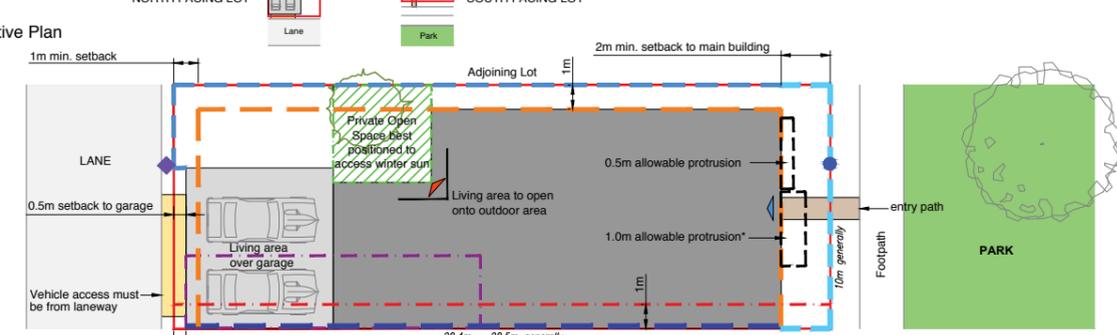
Indicative Section

Solar Orientation Diagrams

- Lots: 37-99
- Lots: 31-34



Indicative Plan



Note: drawings are not to scale

Legend

Allotment Boundary	Allowable Protrusions into Setback Area (*: porticos, allresco areas, balconies, verandas & equivalent)	Private Open Space (size shown is nominal)	Preferred Front Door Location
Indicative Building Footprint (not including protrusions)	Letterbox Located on Park Frontage	Garage	Screen Fencing 1.8m high
Mandatory Built to Boundary Wall	Bin Collection on Internal Street	Alternative Tandem Garage	Low Fencing to 0.9m high
Setback to Main Building		Driveway	

DETAIL

Lots 31 - 34 and 37 - 39

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	1.0m
Non Built to Boundary Wall	1.0m
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	80%

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

DETAIL

Lots 1, 7, 25 and 29

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms	7.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	n/a
Non Built to Boundary Wall	n/a
Side Setback to Street	2.0m
Garage Location	Access from Front - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

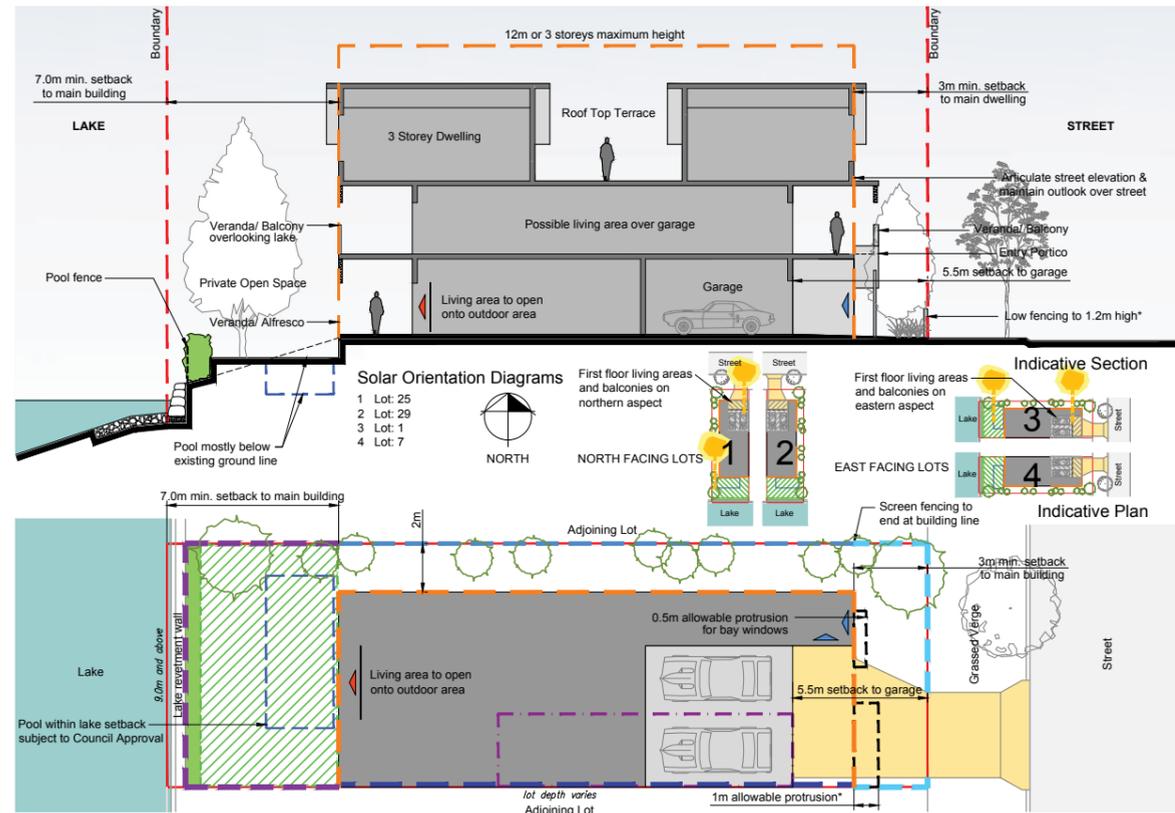
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

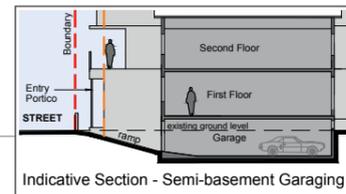
21. SITE SPECIFIC CONSIDERATIONS LAKEFRONT CORNER TERRACE ALLOTMENT



Note: drawings are not to scale

Legend

Allotment Boundary	Indicative Building Footprint (not including protrusions)	Driveway	Solid screen fencing 1.8m high
Mandatory Built to Boundary Wall	Garage	Private Open Space (size shown is nominal)	Low fencing to 1.2m high
Setback to Main Building	Alternative Tandem Garage	Pool	Pool type fencing 1.2-1.5m high
Allowable Protrusions into Setback Area (*: porticos, balconies, verandas and equivalent)	Preferred Front Door Location		



22. SITE SPECIFIC CONSIDERATIONS PARK TERRACE ALLOTMENT

DETAIL

Lots 73, 74, 75, 76 - 81

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall	0.0m
Side Setback (First and second storey)	n/a
Non Built to Boundary Wall	n/a
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

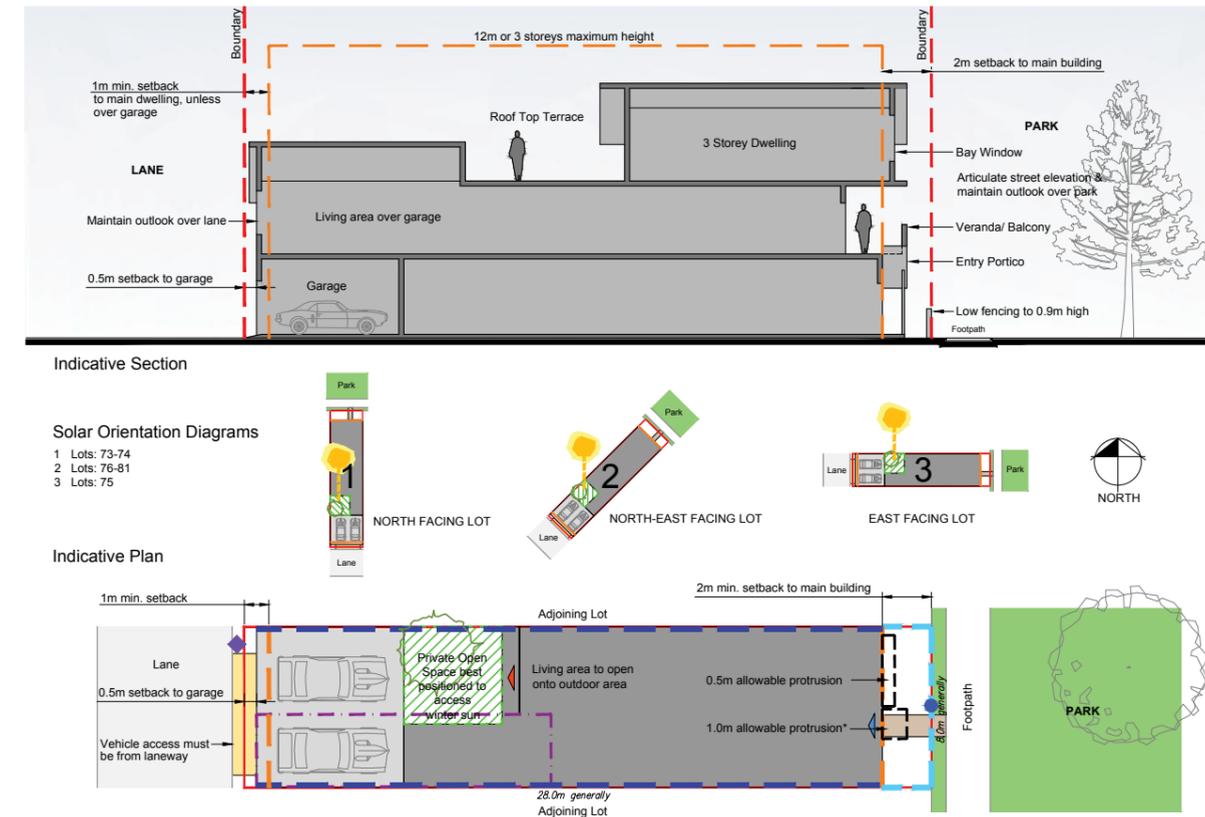
For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

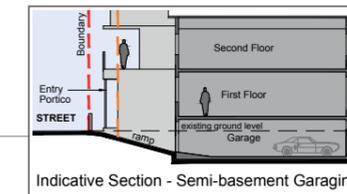
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.



Note: drawings are not to scale

Legend

Allotment Boundary	Allowable Protrusions into Setback Area (*: porticos, alfresco areas, balconies, verandas & equivalent)	Private Open Space (size shown is nominal)	Low fencing to 0.9m high
Indicative Building Footprint (not including protrusions)	Preferred Front Door Location	Garage	
Mandatory Built to Boundary Wall	Letterbox Located on Park Frontage	Alternative Tandem Garage	
Setback to Main Building	Bin Collection on Lane	Driveway	



DETAIL

Lots 72 and 82

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	n/a
Non Built to Boundary Wall	
Side Setback to Street	2.0m
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

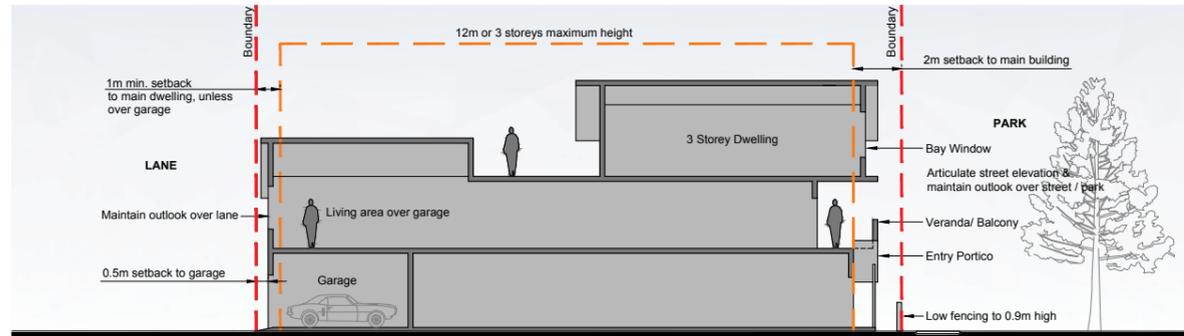
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

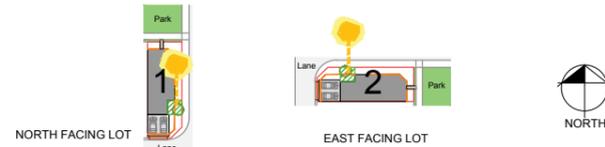
23. SITE SPECIFIC CONSIDERATIONS CORNER PARK TERRACE ALLOTMENT



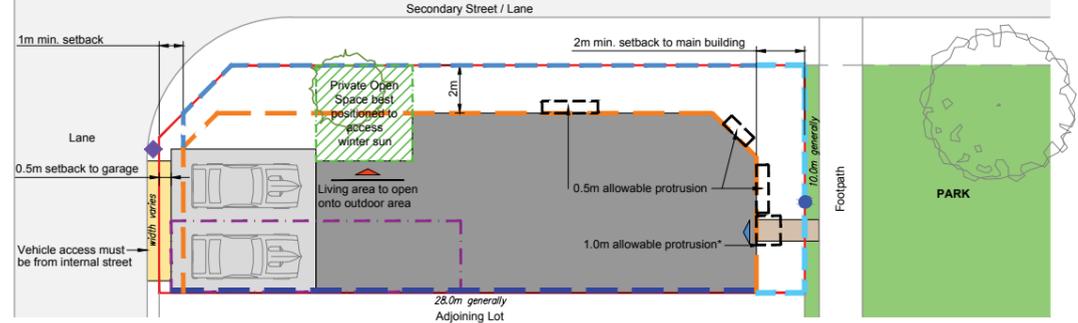
Indicative Section

Solar Orientation Diagrams

- 1 Lot: 82
- 2 Lot: 72



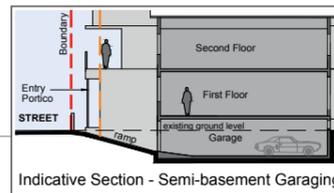
Indicative Plan



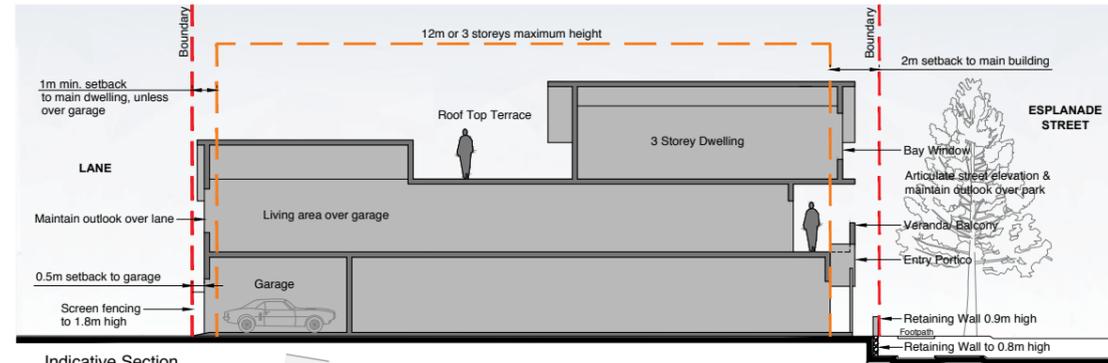
Note: drawings are not to scale

Legend

- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Setback to Main Building
- Allowable Protrusions into Setback Area (*: porticos, alfresco areas, balconies, verandas & equivalent)
- Preferred Front Door Location
- Letterbox Located on Park Frontage
- Bin Collection on Internal Street
- Private Open Space (size shown is nominal)
- Garage
- Alternative Tandem Garage
- Driveway
- Screen fencing 1.8m high
- Low fencing to 0.9m high
- Low fencing to 0.9m high
- Retaining wall (0.8m high)
- Stairs to footpath



24. SITE SPECIFIC CONSIDERATIONS LAKE ESPLANADE TERRACE ALLOTMENT



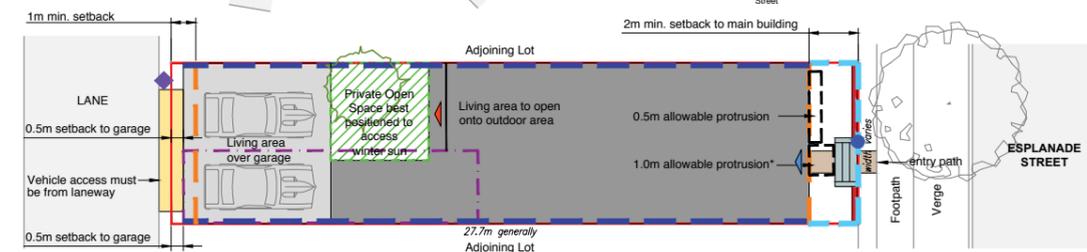
Indicative Section

Solar Orientation Diagrams

- 1 Lots: 17-23
- 2 Lots: 11-16
- 3 Lots: 9-10



Indicative Plan



Note: drawings are not to scale

Legend

- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Setback to Main Building
- Allowable Protrusions into Setback Area (*: porticos, alfresco areas, balconies, verandas & equivalent)
- Preferred Front Door Location
- Letterbox Located on Esplanade Street
- Bin Collection on Lane
- Private Open Space (size shown is nominal)
- Garage
- Alternative Tandem Garage
- Driveway
- Low fencing to 0.9m high
- Retaining wall (0.8m high)
- Stairs to footpath

DETAIL

Lots 9, 10, 11-16, 17-23

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	n/a
Non Built to Boundary Wall	
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

DETAIL

Lots 8 and 24

Front Setback - Habitable Rooms	2.0m
Garages	0.5m
Rear Setback - Habitable Rooms	1.0m
Side Setback (First and second storey)	0.0m*
Built to Boundary Wall Second Storey	0.0m
Side Setback (First and second storey)	n/a
Non Built to Boundary Wall	
Side Setback to Street	2.0m
Garage Location	Access from Rear - Built along Boundary wall or otherwise indicated by developer
Site Cover (maximum)	n/a

Building Height

Maximum Building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lake Esplanade and Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

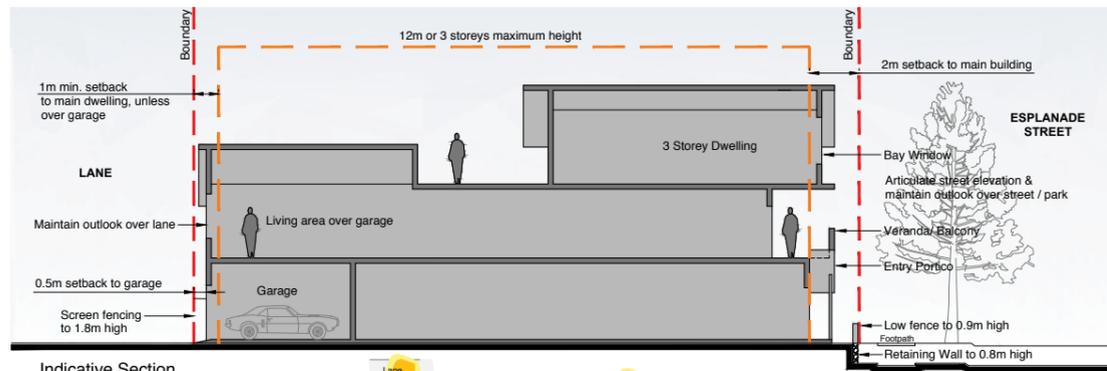
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling.

Parking

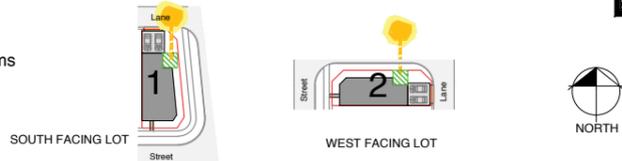
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or roller door.

25. SITE SPECIFIC CONSIDERATIONS LAKE ESPLANADE CORNER TERRACE ALLOTMENT

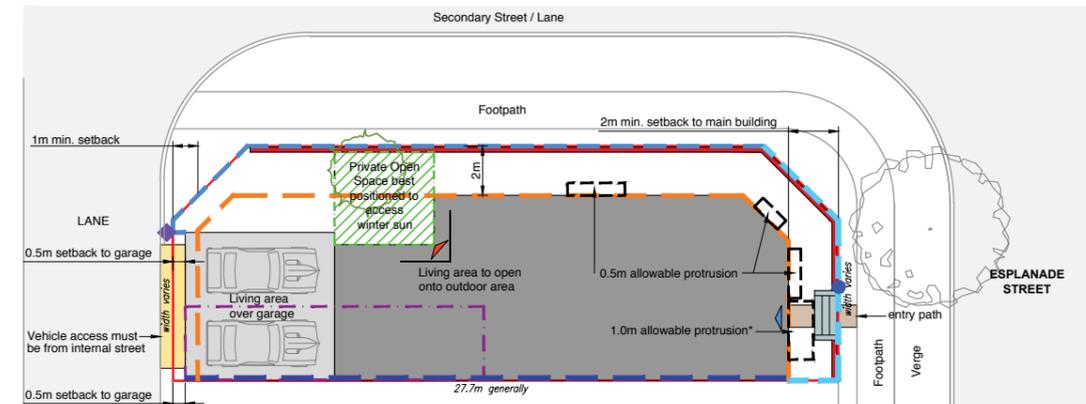


Solar Orientation Diagrams

- 1 Lot: 24
- 2 Lot: 8



Indicative Plan



Note: drawings are not to scale

Legend

- Allotment Boundary
- Allowable Protrusions into Setback Area (*porticos, alfresco areas, balconies, verandas & equivalent)
- Preferred Front Door Location
- Letterbox Located on Esplanade Street
- Bin Collection on Internal Street
- Private Open Space (size shown is nominal)
- Garage
- Alternative Tandem Garage
- Driveway
- Screen fencing 1.8m high
- Low fencing to 0.9m high
- Retaining wall (0.8m high)
- Stairs to footpath
- Mandatory Built to Boundary Wall
- Setback to Main Building



26. ADDITIONS AND EXTENSIONS

Additions and extensions to the dwelling house, outbuildings and other structures, including new verandahs, pergolas, outbuildings, sheds, swimming pools and garden structures are subject to the same covenant requirements and application for approval must be made to the Seller and the local authority in the same manner as the original building applications.

27. MAINTENANCE OF LOTS

During construction it will be the responsibility of the Buyer to ensure that rubbish including site excavations and building materials is kept in such a manner that the community presentation and safety is not effected. Excessive growth of grass or weeds upon the Lot will also need to be maintained to up hold the visual amenity of Sunshine Cove.

28. BUILDING WORKS

It is the Buyers responsibility to ensure that their builders / contractors working on site comply with environment controls that are reflective of current best practice, meet Sunshine Coast Regional Council standards and work health and safety measures. During construction, access will only be permissible from the front of the Lot and Buyers will be responsible for any necessary rectification works to adjoining property, parklands, streetscape or land owned by the Developer.

It is the responsibility of the Buyer and the Buyers builder / contractor to install appropriate sediment control measures onsite prior to construction commencing and ensure they are maintained accordingly.

The Buyer agrees to substantially commence construction in accordance with the approved Development and Construction Application within six months from the date of settlement.

29. ADVERTISING SIGNS

Sunshine Cove's residential community quality presentation standard is to be held in regard in consideration of the use of advertising signs on individual lots.

A single advertising device may be installed on a temporary basis, for the purpose of advertising the property for sale or lease to a maximum size of 2m x 1m. The advertising sign must be supported by two posts painted to compliment the colour of the signage.

30. PUBLIC USE OF LAKEWAY

Swimming in the lake or water way at Sunshine Cove is prohibited and is not encouraged or advisable.

Water based activities (where there is no direct contact between an individual and the water) such as kayaking, canoeing and rowing are permitted.

The Developer will not be held liable for any injury, accident or death to members of the public swimming or undertaking water activities.

The use of motorised activities on the waterways is also prohibited by the Sunshine Coast Regional Council.

31. INFORMATION SUPPLIED BY SELLER

Any information supplied by or on behalf of the Seller is supplied for the convenience of the Buyer and does not form part of the Contract. The accuracy of any information supplied is not warranted by the Seller and the Buyer acknowledges that it has entered into this Contract solely on the basis of the Buyer's own investigation. The Seller will not be liable in Contract or in Tort for the accuracy, adequacy or suitability of any information, documents or advice in relation to the condition of the Lot or its surroundings.

32. LEGAL DUTY OR OBLIGATION

The Buyer and the Seller acknowledge and agree that these provisions relating to building covenants do not create any legal duty or obligation for the benefit of or enforceable by a third party in terms of Section 55 of the Property Law Act 1974 as amended and the operation of that section is hereby expressly excluded in respect of this Contract.

33. NO MERGER

The buyer agrees that the provisions of this Covenant will not merge on the completion of this Contract.

34. ASSIGNMENT

The Buyer will not sell, transfer or otherwise dispose of the Land without first delivering to the Seller a Deed of Covenant given by the Buyer, Transferee or Disponee in favour of the Seller containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further Buyer, Transferee or Disponee.

Such documentation is available by contacting the Seller and or the Seller's solicitor.

35. INCONSISTENCY

If there is any inconsistency between these covenants and a contract of sale between the Seller and the Buyer, the terms of the contract of sale will prevail to the extent of any inconsistency.

36. SEVERANCE

If anything in these covenants:

- (a) is unenforceable, illegal or void; or
 - (b) makes any covenant unenforceable, illegal, void or voidable, then it is severed and the rest of the covenants remain in force.
- If it is held by a court that part of these covenants are:
- (a) void, voidable, illegal or unenforceable; or
 - (b) makes these covenants void, voidable, illegal or unenforceable, that part will be severed from this document.





DEVELOPER:

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Email: admin@chardan.com.au

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Email: sales@sunshinecoverealty.com

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Tate Professional Engineers

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SUNSHINE COVE

MAROOCHYDORE

WWW.SUNSHINECOVE.COM.AU

CREATED BY
 chardan
development
group