

TRINITY PRECINCT DESIGN COVENANT





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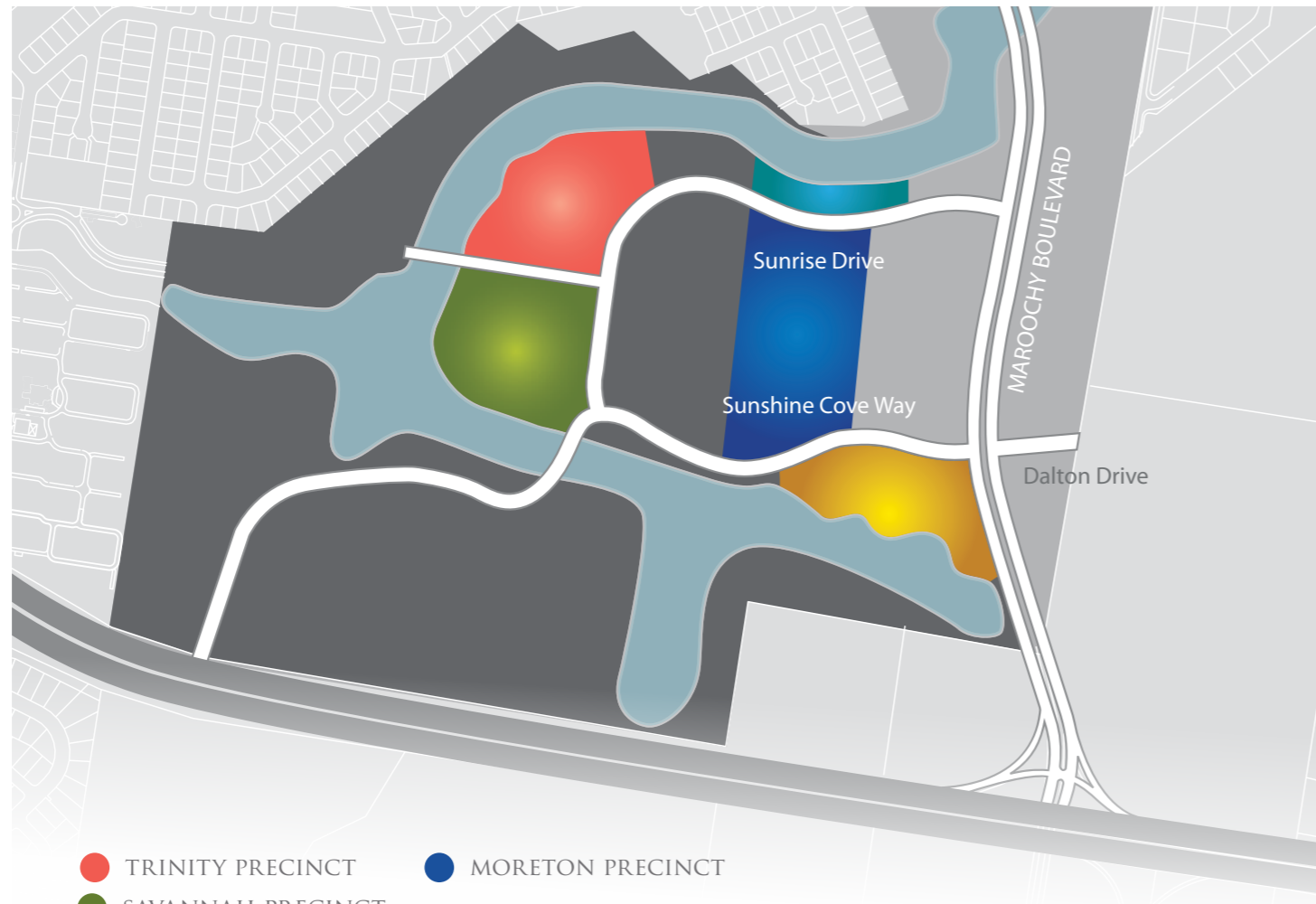


1. INTRODUCTION

The Trinity Precinct is our fourth residential land release and is situated in the North Western Corner of the Peninsula. Situated next to our large 1 hectare community parkland, Trinity also features stunning views of the lake, large landscaped parklands, several smaller parks along with the Avenue Park that our terrace and laneway allotments face. The Trinity Precinct will deliver another layer to the diverse community of Sunshine Cove.

Evolving over the next 5 to 10 years, Sunshine Cove is destined to become a popular and vibrant community, transforming Maroochydore and the Sunshine Coast forever. Some 6,000 residents will call Sunshine Cove home with many also enjoying being a part of an extensive and professional business community emerging along the Maroochy Boulevard. Offering architecturally designed lifestyle options including urban laneway and terrace type living, waterfront home sites and a variety of higher density options, Sunshine Cove will become one of the Sunshine Coast's most popular and highly sought after addresses.

The following Precinct Design Guidelines have been developed to provide buyers, designers and builders with clear and concise design requirements and consideration applicable to individual home sites.



- TRINITY PRECINCT
- MORETON PRECINCT
- SAVANNAH PRECINCT
- RESIDENTIAL DEVELOPMENT
- BRIGHTON PRECINCT
- COMMERCIAL DEVELOPMENT
- SARINA PRECINCT

TRINITY PRECINCT PLAN

LEGEND

- Subject Site
- Pedestrian Linkage (Road Reserve)
- Park
- Linear Park
- ▨ Proposed Easement
- ▨ Road Widening
- ▨ On-Street Parking Bay
- ▨ Preferred Driveway Location
- ▨ Stormwater Treatment Area
- ▨ Stormwater Inlet
- Possible Duplex Allotment
- ▲ Shared access onto Linear Park (Parcel 709)
- ▲ Single access onto Street/Park/Pedestrian Linkage

Note:
#: Lot 47 is a potential duplex site subject to Council approval (Code Assessment)

Lot Types

- 6.6m Laneway Terrace Allotment
- 7.5m Laneway Terrace Allotment
- 8.0m Laneway Terrace Allotment
- Laneway Duplex Allotment #
- 7.5m Lakefront Terrace Allotment
- 8.5m Lakefront Terrace Allotment
- 10.0m Lakefront Terrace Allotment

Pathways

- 3.0m Wide Pathway
- 2.5m Wide Pathway
- 1.8m Wide Pathway
- 1.5m Wide Pathway



SUNSHINE COVE
MAROOCHYDORE

2. DESIGN VISION

The Trinity Precinct features 72 freehold allotments including the very popular waterview terraces as well as the fantastic terrace allotments that sit on the Trinity Avenue Park, offering a beautiful focus for these homes. All the convenience of CBD living without the hustle and bustle when your surrounded by the Avenue! This precinct sees the return of the ever popular waterview allotments – but opportunities are limited to just 29 allotments.

Architectural designs, trends and practices will continue to flourish in this precinct, resulting in a diverse and attractive range of two and three storey CBD waterfront and parkfront homes. Each designed on individual lifestyle objectives but all focussed on our enviable lifestyle and featuring the stunning lake at Sunshine Cove.



3. PROTECTIVE COVENANTS AND DETAILED AREA PLANS

3.1. COVENANTS

The Developers of Sunshine Cove will require Buyers to enter into these protective covenants as detailed in the Trinity Precinct Design Covenants. These covenants will facilitate high standards of design for individual dwellings and residential streetscapes without limiting choice and opportunity for independent design or sustainable living considerations.

3.2. DETAILED HOUSING PLANS

Detailed housing plans will be required as part of the building approval process. These plans will be prepared by the Buyer, at the Buyers cost, to illustrate elements such as building envelope locations, outdoor living areas and courtyard locations, garage locations, and building heights.

3.3. OTHER APPLICABLE DOCUMENTS

The Trinity Precinct Design Covenant is to be read in conjunction with any other relevant and current statutory documents including, most particularly Plan of Development (RPS Setbacks Plan 22153-109-L), the Queensland Development Code, Building Code of Australia and Standard Building Regulation.



4. APPROVAL PROCESS

4.1 DESIGN ENDORSEMENT BOARD

Development and construction proposed for the home sites will require the endorsement of the 'Sunshine Cove Design Endorsement Board'. Appointed by the developer, The Board comprises of a representative from the developer, an architect and a town planning professional, who will each review the proposed house plan to ensure compliance with the Trinity Precinct Design Covenant.

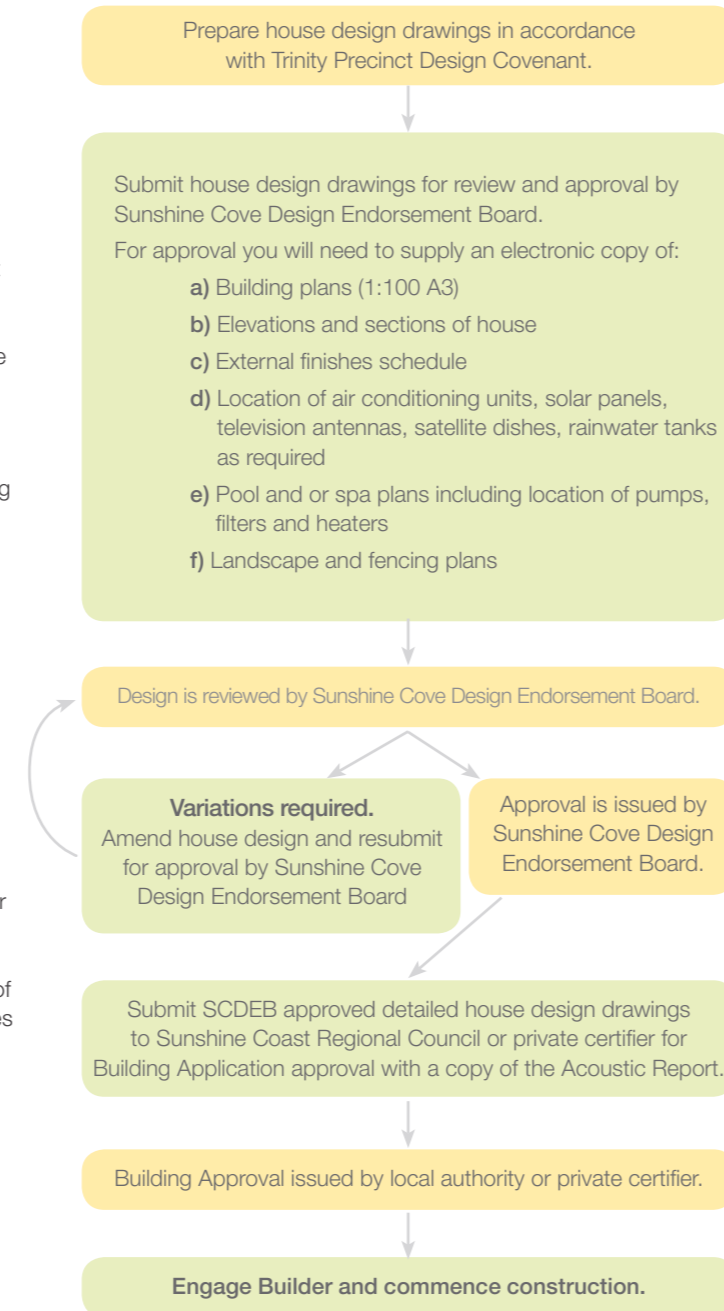
An electronic copy of the full set of working drawings including site plan, floor plan, elevations including proposed built form, external materials and finishes / colours and include location of air conditioning units, TV antennas, solar heating panels, rainwater tanks, along with a detailed design for pools, spas, landscaping and fencing, must be provided to the developer for review.

4.2 BUILDING APPROVAL

Once approval is received, the plans will need to be submitted for building approval through the Sunshine Coast Regional Council or alternatively a private certifier. It is the applicant's responsibility to ensure appropriate documentation and fees are submitted for approval.

A copy of the approved house plan will remain the property of the Developer for the purpose of future lot specific referencing. The Buyer acknowledges that the Developer may provide a copy of elevation detail to adjoining property owners to enable complimentary designs to be enacted. Copyright of approved designs remains the property of the Buyer or the Buyers architect / designer and the Buyer indemnifies the Developer against any breach of this.

The Buyer acknowledges that the risk in relation to seeking and obtaining the approval of the Council to the plans and specifications, rests solely with the Buyer notwithstanding that such plans and specifications may have been approved by the Seller.



5. BUILDING FORM

5.1 BUILDING APPEARANCE AND STREETScape

Home designs should be reflective of Sunshine Coast lifestyle, architecture focus and type. Building elevations should feature a composite of external wall finishes with elevations to be articulated to provide visual interest. Blank facades are to be avoided through the provision of projections and indentations on floor plans with resultant shadow effects and corresponding roof elements. The street façade of the building should be detailed to provide visual richness as well as enabling sustainable and environmental considerations to be implemented (reflective of individual identity). This can be achieved through:

- The application of colour, texture and changes in materials;
- The use of elements such as awnings, balconies and glazing. Dwellings should enable passive surveillance from living rooms and balconies;
- Front entries are clearly identifiable from the street through expressed elements such as porticos, porches, entry statements etc;
- Elevations, which reflect the desired character through the application of a mix of materials and colours as, outlined in the introduction and section 6.2 *Wall Materials*.

5.2 SECONDARY STREET ELEVATIONS

To promote sustainable building practices and enhance aesthetics, diversity and security on corner lots is required to address both the primary and secondary streets. The secondary street elevation is to feature a suitable level of detail including windows, is consistent with that of the primary street elevation and blank walls are to be avoided.

5.3 PRIVATE OPEN SPACE

Each design is required to include private open space of at least 16m² in size that has no dimension less than 3m, and is accessible from the living area of the dwelling.

5.4 ROOF FORM

Roof pitches shall be complimentary to the home design with the following conditions to apply:

- The minimum eaves overhang is 400mm except at nil side setbacks, or where limited by side setback requirements, or at areas of extended roof cover such as verandas, entry porticos and awnings, or at non-habitable areas such as garages and stores.
- At gables the roof verge is to have minimum 200mm overhang.
- Flat roofs shall generally be hidden behind parapets.
- For habitable spaces within a roof, the pitch maybe broken by dormer windows.
- Window Treatments – To ensure privacy to adjoining and or neighbouring allotments, side walls must be setback from the side property boundary where windows have been installed and these windows must provide sufficient and adequate screening to enhance livability, security and privacy.

5.5 WINDOW TREATMENTS

To ensure privacy to adjoining and or neighbouring allotments, side walls must be setback from the side property boundary where windows have been installed and these windows must provide sufficient adequate screening to enhance livability, security and privacy.



5.6 ENTRANCE PORTICOS

Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks on Pages 21 to 30, provided that:

- the portico is located not less than 1m from the front property boundary (2m for all Lakefront Terrace lots);
- the height of the portico does not exceed 4.5m,
- the portico remains open and not enclosed; and
- the width of the portico is limited to the front entry only.

5.7 PORCHES, BALCONIES AND VERANDAHS

Porches, balconies, verandahs or similar may extend up to 1.0m into the front setback area and the side street setback for corner lots, provided they remain open and not enclosed.

5.8 POOLS

The use of pools and spas is encouraged but is restricted by standard building requirements. Pools and or spas, pool equipment including electrical pumps along with pool fencing must comply with the Queensland Building requirements as well as Sunshine Coast Regional Council bylaws.

5.9 BUILDING HEIGHT, SITE COVER AND SETBACKS

The maximum allowable height for all dwellings, the site cover and setbacks for individual allotments is to be as shown on the approved RPS Setbacks Plan 22153-109-L for all created allotments and is detailed in sections 16 to 25 of these covenants.

5.10 SITE LEVELS AND RETAINING WALLS

To maintain views and avoid overlooking issues additional retaining on existing retained boundaries is not permitted. Existing site levels may not be raised by more than 200mm without the specific written approval of the Developers of Sunshine Cove.

5.11 FILL

It is acknowledged that the lots may have been filled. It is the Buyers responsibility to make their own investigations to satisfy any proposed building operation as to the suitability of any footing, foundations or proposed construction given the nature of the lot as to any requirements in that regard. All costs associated with this will be at the Buyers expense.



6. BUILDING MATERIALS

6.1 ROOF MATERIALS

Corrugated Metal Roofing

Corrugated metal roof sheeting is to be of low or neutral visual impact from the specified range of Colorbond colours or Zinalume finish. Bright or dark, heat-absorbing colours are not encouraged. Roof colours are to be selected from the following Colorbond range: (or equivalent) Windspray, Shale Grey, Classic Cream, Surfmist, Dune, Bushland, Sandbank, Ironstone, Pale Eucalypt, Woodland Grey, Paperbark, Jasper.

Tiled Roofs

In keeping with the promoted contemporary urban form, roof tiles must be low profile slate style in neutral colours. Overly bright colours such as reds, greens or blues and black, dark or deep terracotta colours are not encouraged as they are considered to absorb greater levels of summer heat than lighter colours. Such other colours that achieve a solar absorption value of the roof of not more than 0.55 to achieve 5 star building compliance will also be considered.



6.2 WALL MATERIALS

Walls visible from a street or other public space should feature a composite of construction finishes. A dominant material such as painted or coloured render/bagging, face brickwork, stone, rammed earth or blockwork is to be complemented by minor elements of alternative materials with selections from the following:

- Face and rendered/painted brickwork/blockwork of contrasting colours;
- Stone cladding;
- Clear glazing;
- Weatherboards, painted or natural finish;
- Corrugated sheet metal cladding in custom or mini orb profile in Colorbond or Zinalume finish;
- Compressed fibre cement cladding.
- Natural or raw concrete facades or in their use as a wall material must be finished through the use of paint, render or cladding to compliment the buildings colours.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

Tilt up or precast concrete will only be approved for internal walls or where the design exhibits sufficient components of detail and glazing to satisfy the spirit of the guidelines and must comply with the Queensland Development Code.

The use of recycled building materials are also encouraged, to compliment the environmental sustainable philosophy of Sunshine Cove.

6.3 WINDOW MATERIALS

Security screens and doors fitted to external windows and doors on all external and visible faces are to be wire mesh only with with no visible reinforcing to enhance natural ventilation. Honeycomb or similarly reinforced security screen are not encourage or permitted.



7. COLOUR

The use of colour will be a valuable means of unifying buildings within Sunshine Cove. In keeping with regional architecture, base colour indicators should be derived from the local natural elements. The intent is not to stifle expression, rather to provide compatible base colours, which can be accentuated through the application of tonal variations and accent colours. In keeping with regional architecture and sustainable building practices.

Application of colours to be as follows:

Base Walls:

Coloured/rendered masonry, rammed earth or stone cladding in earthy/sandy or bush green/blue hues preferably up to a dado type change in materials and/or colour; the intent being to convey a strong earthy base.

Minor Wall Elements:

Colours are to be differentiated from base wall colours with accent colours in pastels or natural timber finishes for weatherboards, sheet cladding and other changes in finish.



Front Fence Colours:

Where fencing is provided by the Developer, the property owner shall not permit any repairs, patching or repainting other than in the same finish and colours as existing, otherwise:

Masonry: Masonry low fencing in front of the building should match or be complimentary to the base wall colour.

Palisade Infill Panels: Where incorporated into front fences, timber palisade infill shall be coloured white or off white.

Notwithstanding the Dividing Fences Act 1953 as amended to the contrary, the Buyer shall not make any claim against the Seller / developer for contribution to the construction of any dividing fences on or within boundaries or between the Lot, or any adjoining lot owned by the Seller.

Fencing to all boundaries of the land other than those to which fencing is restricted by these covenants shall be erected before occupation of the dwelling. Where the Buyer does not intend to construct a front fence, low planting and or hedging may provide suitable screening or privacy.



8. FENCES

8.1 FRONT STREET FENCES

In order to enhance the sense of community fostered at Sunshine Cove, fencing proposed for a primary street boundary is to be low to maintain an open streetscape which facilitates visibility and casual cross surveillance. This is preferred to be in the form of a low rendered masonry wall to a maximum height of 0.9m for piers and 0.8m for permeable panels.

8.2 REAR FENCING TO WATERFRONT LOTS

Proposed fencing along the rear boundary must not exceed a maximum height of 1.2m, consist of 1.2m high black square pool fence inserts, framed by 100mm x 100mm treated timber hardwood posts. A full rendered wall or like will not be permitted. Rear fencing must readily demonstrate that it will not hinder, restrict or slow the flow of water from the lake and or a storm event. (The use of pool fencing combined with heavy landscaping / planting is encouraged.)



8.3 SECONDARY STREET FENCES

In line with the requirement for corner residences to address both streets, any fencing along the corner truncation and at least to the setback of the front boundary of the first habitable room of the secondary street boundary is required to be a continuation of low or visually permeable front fencing. The balance of secondary street fencing may be solid to suit particular privacy requirements.

8.4 TERRACE DIVIDING FENCES

All fences dividing adjoining properties shall be a minimum height of 1.8m and constructed of rendered block, masonry or similar. Such fencing shall not project past the adjoining front building line. Dividing fencing in front of the building line shall be low or visually permeable as required for a front fence. Rendered block inserts to a maximum of 1.8m must be installed to terrace boundaries.

To maintain privacy and neighbourhood acoustics on terrace allotments side boundary fencing must be solid either block and or masonry and to a height of 1.8m, and be reflective of the house type and colour.

**Within the defined building envelope.*

8.5 FENCING PROVIDED BY THE DEVELOPER

Where desirous, the Developer, at their discretion may construct boundary fencing where it is determined that consistency of design and materials will be beneficial to the amenity of the project.

8.6 FENCING MATERIALS

Fencing for allotments adjoining public land is to be low to maintain an open streetscape, which facilitates visibility and casual cross surveillance. The maximum length of any non articulated fence is 4m, without a landscaped recess or feature panel of 2m. The use of residential pool grade fencing (except to the water side of waterfront allotments), colorbond capped metal, corrugated fibre cement, standard wooden paling boundary fencing is not permitted.

Any other fencing must match the type, quality and colour installed by the Developer, and only after approval in writing by the Developer.



9. BOUNDARY WALLS

Built to boundary wall is mandatory where shown on the plan. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setback Table for non-built to boundary walls.

For terrace lots built to boundary walls shall not exceed the front or rear setbacks for the lot.

On corner terrace lots, optional built to boundary walls fronting the street or lane shall not exceed two storeys or 7.5m in height.

Setbacks are measured to the wall of the building / structure. Eaves (excluding gutters) are permitted to extend up to 600mm within the setback area (other than where walls are built to boundary) provided a minimum side boundary clearance from eaves of 450mm is achieved.

The Buyer will agree to render any external walls that are visible from the adjoining neighbouring allotment or allotments, with particular but not limited to built to boundary walls that are visible from the next allotment. The render must be paint finish and done to the full height of the house construction.

10. RETAINING WALLS

(a) Retaining walls constructed of concrete blockwork and located on the front boundary or within the front boundary setback area must be treated with a rendered finish and colour coordinated with the main building on the lot.

(b) The Buyer acknowledges that the Seller may have caused the construction of a retaining wall on the boundary of the Lot. The Buyer or someone acting on its behalf shall not, when excavating or building on the Lot, interfere with or undermine the structural integrity of the retaining wall. The Buyer agrees to indemnify and keep harmless the Seller and any other affected person (eg. adjoining land owner) from any breach of this covenant.

11. ESTATE WALL

Estate walls that have been installed by the Seller / Developer, for the purpose of enhancing the value of the Lot and also the Estate generally, will not be permitted to be removed, changed, damaged or altered.

12. LANDSCAPING

All landscaping works are to be of high quality and complementary to the house design, are to be submitted for approval by the SCDEB along with house designs and should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

13. VEHICLE ACCESS

Garages may only front the internal streets within the precinct. No direct lot access is permitted to Sunshine Cove Way, Cheyenne Way or Sunrise Drive.

All garages are to be accessed via a single width driveway (max. 3.5m wide, where crossing the verge) as shown on the Subdivision Plan on Page 3 of this document, to maintain space within the verge for street trees, grass and street planning beds. The single width driveway must provide sufficient space of visitor parking for one vehicle, wholly contained within the lot. Alternative solutions may be considered but would be subject to Sunshine Coast Regional Council approval.

14. DRIVEWAYS

Driveways should be constructed of concrete with exposed aggregate or stamped or stencilled surfacing, plain concrete driveways are not permitted nor allowed. Driveways should be completed prior to habitation or completion of the dwelling house, whichever is the sooner.

14.1 DRIVEWAYS INSTALLED BY THE DEVELOPER

Driveways and driveway crossovers that have been installed by the Developer may not be altered in any way by the Buyer or any person / entity engaged by or for the Buyer. Ongoing maintenance of these areas will be the responsibility of the Buyer.

Driveways need to join the existing driveway crossover located on the kerb. Driveways within the road verge are not to be wider than the crossover, as per the approved Plan of Development.



15. OTHER CONSIDERATIONS

15.1 SUSTAINABLE BUILDINGS

Buildings must comply with the current Queensland Development Code, Sustainable Buildings for water conservation, energy efficient lighting and hot water.

15.2 SITE SERVICES

All piped and wired services including waste and vent pipes, refrigerant lines and cable ducts are required to be built into walls and are not to be visible from the street or adjoining properties.

15.3 LETTER BOXES

Letterboxes can be installed on laneways or road frontages. Emergency services require a street number to be installed on the laneway. Another street number may need to be installed at the park or road frontage for visitors.

15.4 RUBBISH BINS

PVC or bulk rubbish bins should not be visible from public areas except on rubbish collection days. Bins shall be located in a screened storage area, with consideration shown for neighbouring properties.

15.5 STORES AND OUTBUILDINGS

All dwellings are to have a store with a minimum area of 4m², provided under the main or garage roof and accessible from either outside the dwelling or within the garage area. Separate outbuildings visible from any public area are required to be constructed of wall and roof materials to match the main dwelling, to maintain compliance of building requirements. Colorbond style metal sheds / lawn lockers or similar are not permitted where visible from public areas.

15.6 AIR CONDITIONERS

As air conditioning plant is noise generating and often unsightly, its impact on adjoining properties and public areas is to be mitigated.

Air conditioning is preferred to be located at ground level to minimise the impact on neighbours and is to be visually concealed from public areas. Any roof mounted air conditioning or evaporative cooling plant is required to be located so as to not be visible from a street or public open space and is to be finished in a colour to match that of the roof.

Any balcony plant is to be visually and acoustically screened from adjacent dwelling units and visually screened from streets and other public areas.

15.7 TV ANTENNAE AND SATELLITE DISHES

TV antennae are to be located within the roof space or to the rear of the roof, wherever reception permits but not visible from any principle street frontage.

15.8 SOLAR COLLECTORS

In line with sustainability principles, the use of gas boosted solar hot water and swimming pool heating systems is encouraged, however solar collectors must not be visible from public spaces unless there is no other location which affords suitable solar exposure. In this case they should be installed on the plane of the roof, with water tanks ideally located within the roof space.

15.9 RAINWATER TANKS

The use of rainwater tanks are encouraged and where possible these should not be seen from public areas. The use of underground or roof cavity rain water tanks is preferred. Tank capacity is as per Sunshine Coast Regional Council policy for stormwater mitigation.

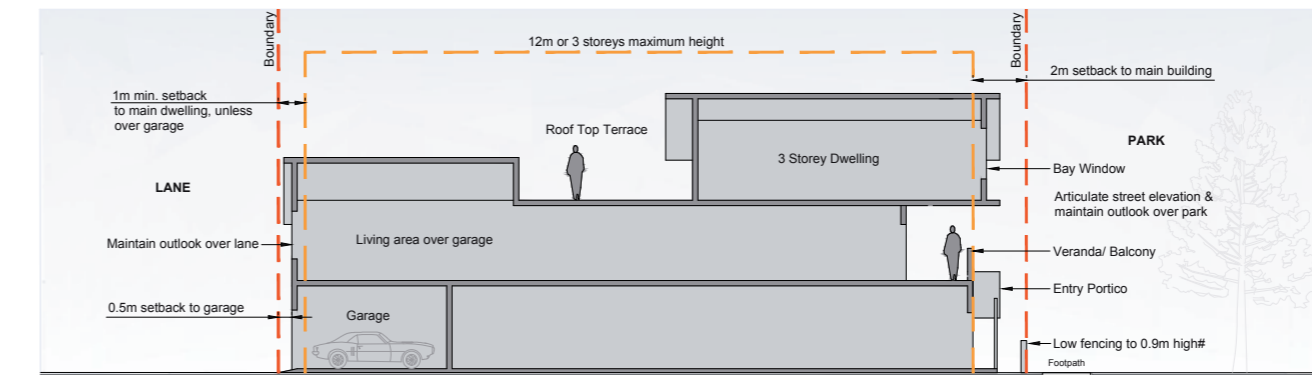
15.10 CLOTHES LINES AND DRYING AREAS

These should be located to access winter sunshine and prevailing breezes and shall not be visible from public areas or neighbouring allotments.

15.11 PARKING, TRAILERS, CARAVANS AND SIMILAR VEHICLES

All cars are required to be parked within individual garages. Any other vehicle, including but not limited to caravans, trailers, boats, jet skis, motorbikes, are to be parked/ housed within the property boundaries and should not be visible from public areas.

16. SITE SPECIFIC CONSIDERATIONS PARK TERRACE ALLOTMENT 7.5m wide

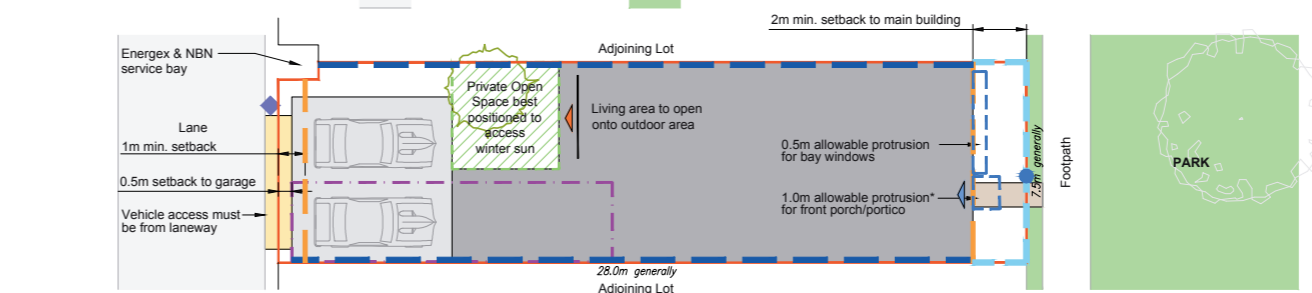


Indicative Section

Solar Orientation Diagrams

- 1 Lots: 48-49 & 52-55
- 2 Lots: 39-45
- 3 Lots: 31-36

Indicative Plan



Legend

- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Setback to Main Building
- Allowable Protrusions into Setback Area (*: porticos/porches & bay windows only)
- ▲ Preferred Front Door Location
- Letterbox Located on Park Frontage
- ◆ Bin Collection on Lane
- ▨ Private Open Space (size shown is nominal)
- ▭ Garage
- ▭ Alternative Tandem Garage
- ▭ Driveway
- Low fencing to 0.9m high#
- # Pool type fencing to 1.2m high for lots 31 - 36

Note: drawings are not to scale

DETAIL

PARK TERRACE ALLOTMENTS 7.5m wide
Lots 31 – 36, 39 – 45, 48 – 49, 52 – 55

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street	n/a
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height

Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



SUNSHINE COVE
MAROOCHYDORE

DETAIL

CORNER TERRACE ALLOTMENTS
Lots 30, 37, 38, 50, 51, 56

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street (varies depending on lot)	2.0m*
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height

Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

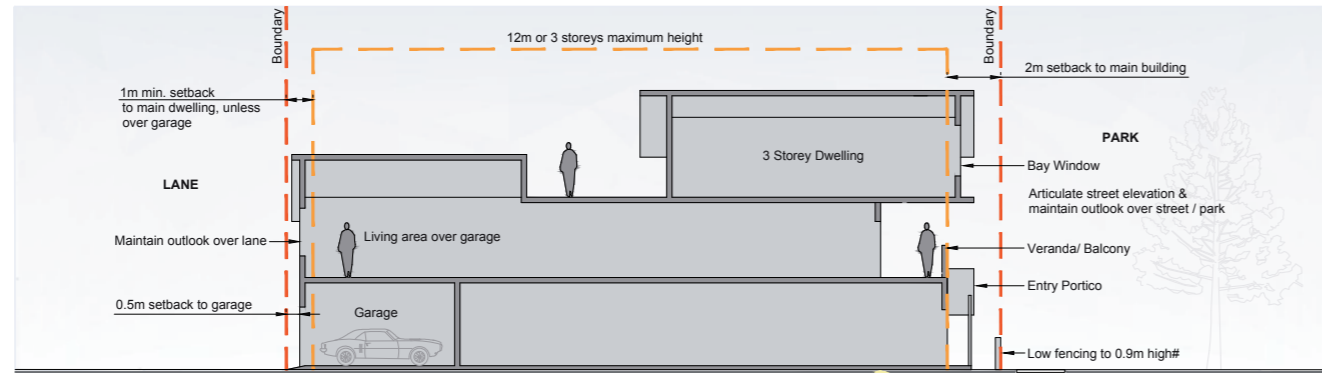
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

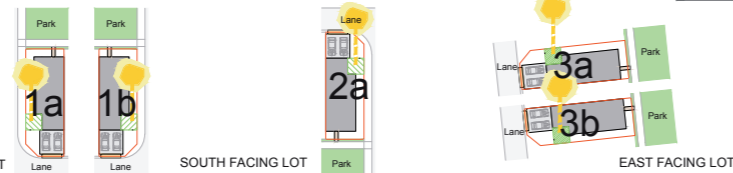
17. SITE SPECIFIC CONSIDERATIONS CORNER TERRACE ALLOTMENT



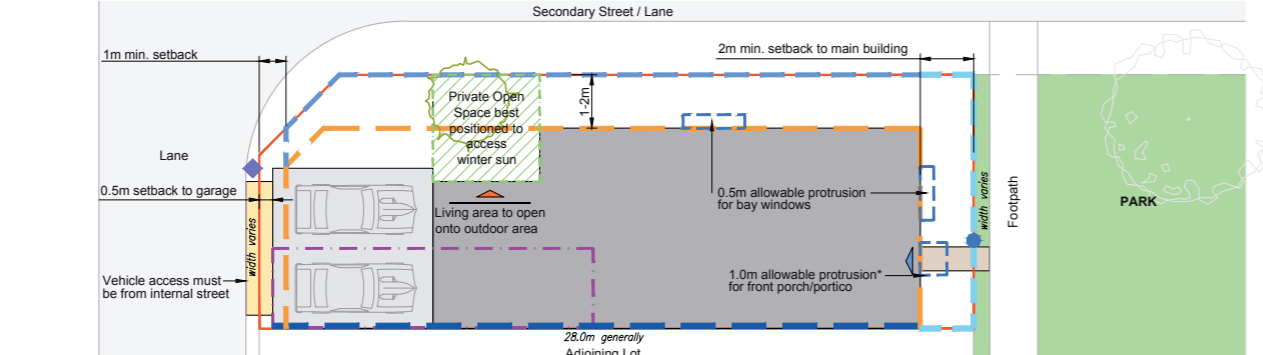
Indicative Section

Solar Orientation Diagrams

1a Lot: 51 1b Lots: 50 & 56
2a Lot: 38 3b Lot: 37



Indicative Plan

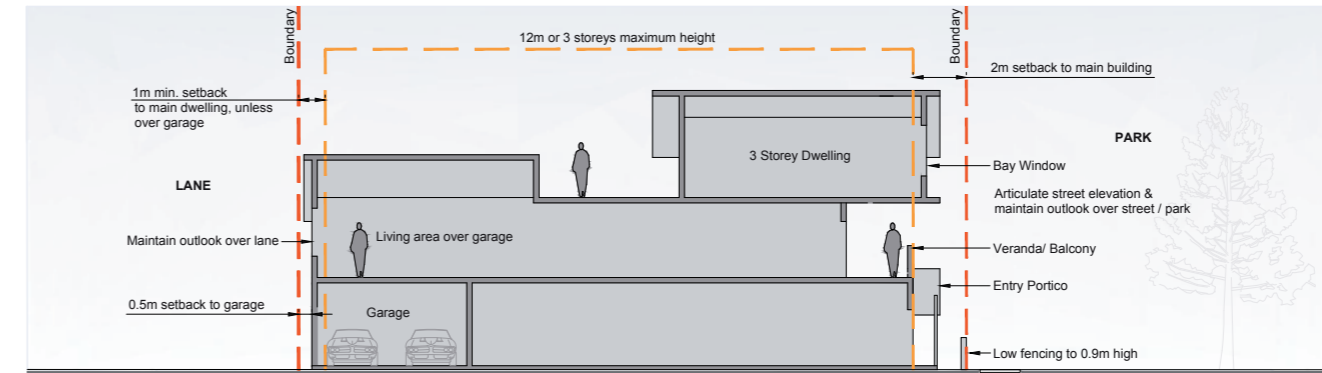


Legend

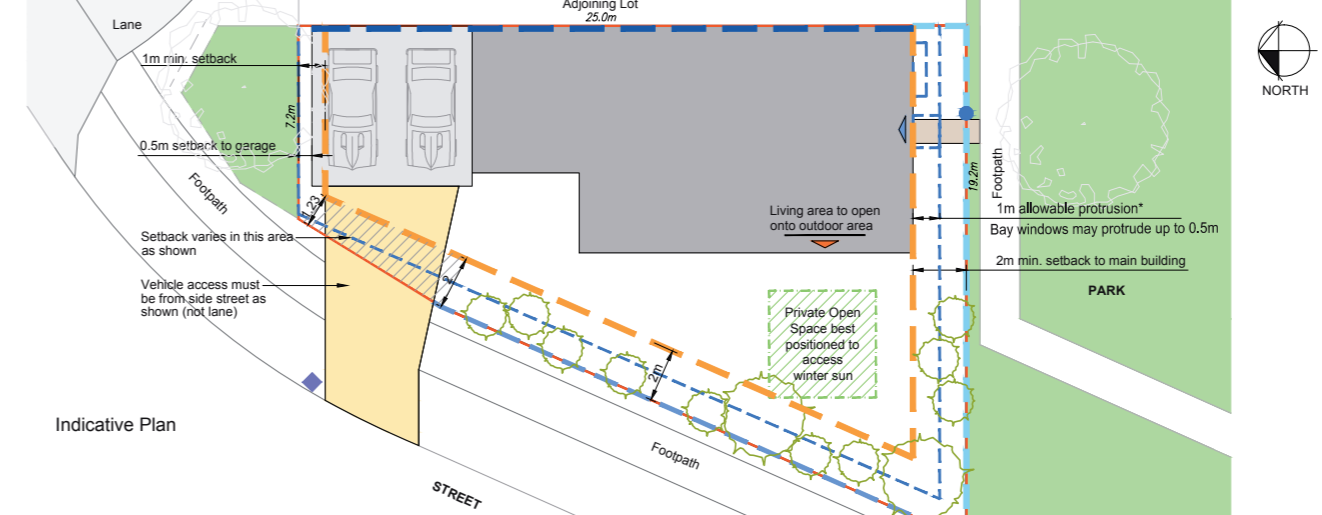
- Allotment Boundary
- Allowable Protrusions into Setback Area (*: porches/porches & bay windows only)
- ▨ Private Open Space (size shown is nominal)
- Screen fencing 1.8m high
- ▭ Indicative Building Footprint (not including protrusions)
- Preferred Front Door Location
- ▭ Garage
- Low fencing to 0.9m high#
- Mandatory Built to Boundary Wall
- Letterbox Located on Park Frontage
- ▭ Alternative Tandem Garage
- # Pool type fencing to 1.2m high for lots 30 & 37
- Setback to Main Building
- ◆ Bin Collection on Internal Street
- ▭ Driveway

Note: drawings are not to scale

18. SITE SPECIFIC CONSIDERATIONS CORNER TERRACE ALLOTMENT



Indicative Section



Indicative Plan

Legend

- Allotment Boundary
- Allowable Protrusions into Setback Area (*: porches/porches & bay windows only)
- ▨ Private Open Space (size shown is nominal)
- Screen fencing 1.8m high
- ▭ Indicative Building Footprint (not including protrusions)
- Preferred Front Door Location
- ▭ Garage
- Low fencing to 0.9m high
- Mandatory Built to Boundary Wall
- Letterbox Located on Park Frontage
- ▭ Alternative Tandem Garage
- # Pool type fencing to 1.2m high for lots 30 & 37
- Setback to Main Building
- ◆ Bin Collection on Internal Street
- ▭ Driveway

Note: drawings are not to scale

DETAIL

CORNER TERRACE ALLOTMENTS
Lot 46

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street (varies depending on lot)	2.0m*
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height

Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



DETAIL
LANEWAY TERRACE ALLOTMENTS 6.6m wide
Lots 65 to 71

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street	n/a
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

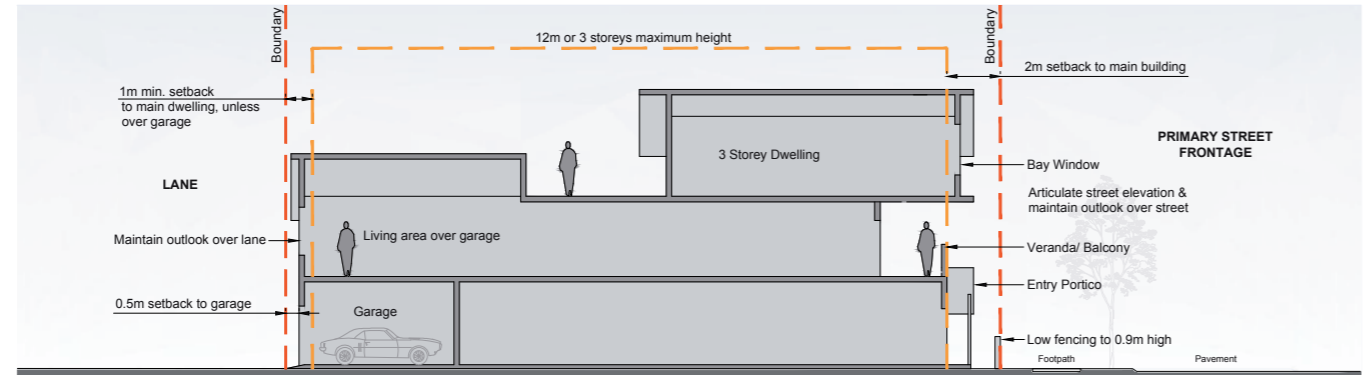
Building Height
Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space
At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

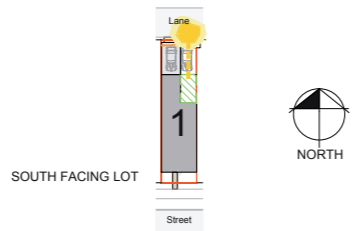
Parking
Minimum of 2 onsite covered spaces required, at least one in a garage with a segmented panel lift or rollerdoor.

19. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENT 6.6m wide

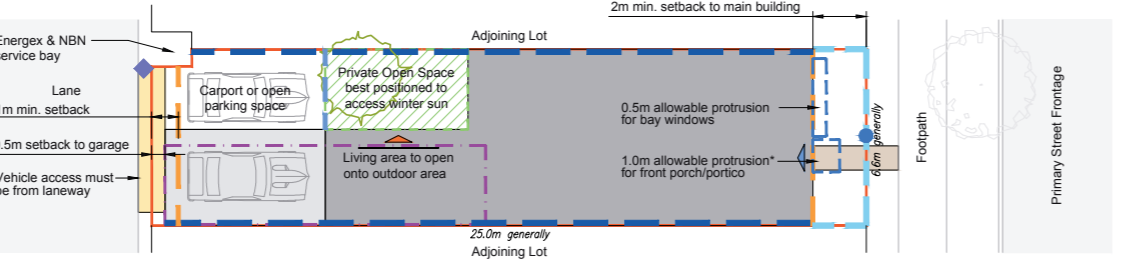


Indicative Section

Solar Orientation Diagrams
1 Lots: 65 to 71



Indicative Plan



Legend

Allotment Boundary	Allowable Protrusions into Setback Area (*: porticos/porches & bay windows only)	Private Open Space (size shown is nominal)	Low fencing to 0.9m high
Indicative Building Footprint (not including protrusions)	Preferred Front Door Location	Garage	
Mandatory Built to Boundary Wall	Letterbox Located on Primary Street Frontage	Alternative Tandem Garage	
Setback to Main Building	Bin Collection on Lane	Driveway	

Note: drawings are not to scale

20. SITE SPECIFIC CONSIDERATIONS LANEWAY TERRACE ALLOTMENT 7.5m to 8.0m wide

DETAIL
LANEWAY TERRACE ALLOTMENTS
7.5m to 8.0m wide
Lots 58 to 62

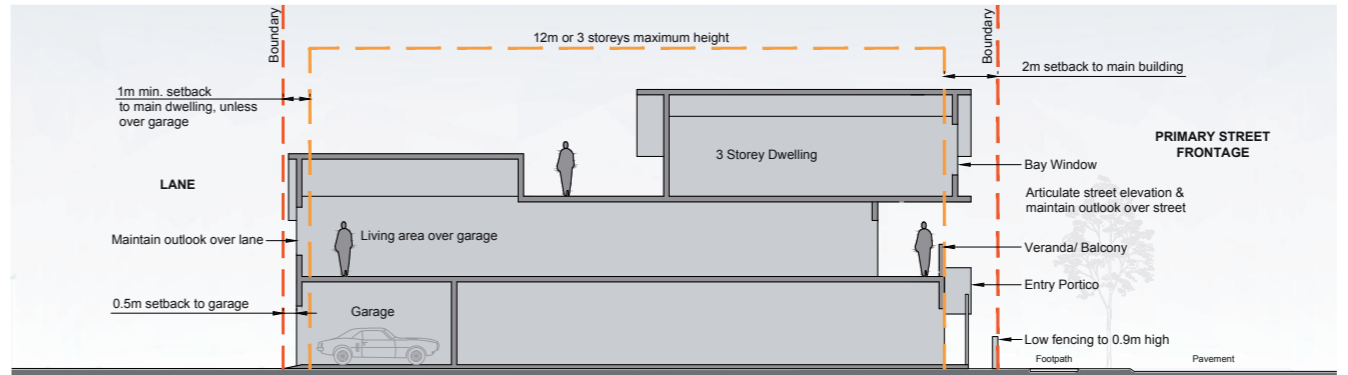
Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street	n/a
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height
Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

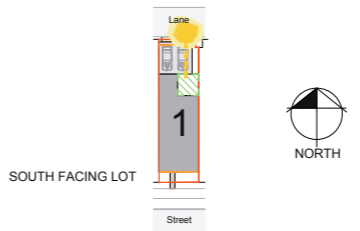
Outdoor Living Space
At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

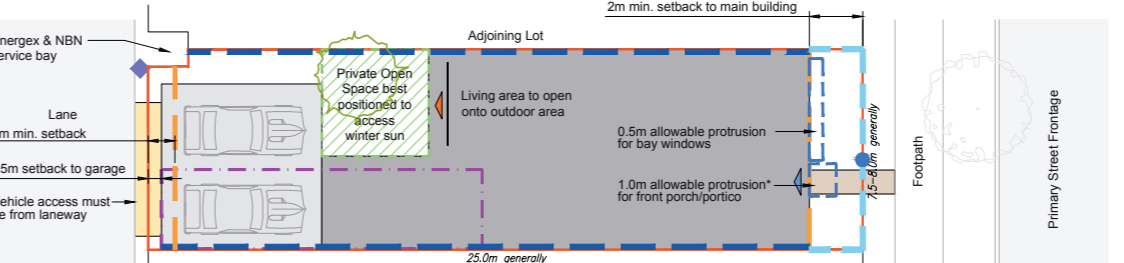


Indicative Section

Solar Orientation Diagrams
1 Lots: 58 to 62



Indicative Plan



Legend

Allotment Boundary	Allowable Protrusions into Setback Area (*: porticos/porches & bay windows only)	Private Open Space (size shown is nominal)	Low fencing to 0.9m high
Indicative Building Footprint (not including protrusions)	Preferred Front Door Location	Garage	
Mandatory Built to Boundary Wall	Letterbox Located on Primary Street Frontage	Alternative Tandem Garage	
Setback to Main Building	Bin Collection on Lane	Driveway	

Note: drawings are not to scale



DETAIL

CORNER TERRACE ALLOTMENTS
Lot 57, 63, 64 and 72

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street (varies depending on lot)	2.0m*
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height

Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

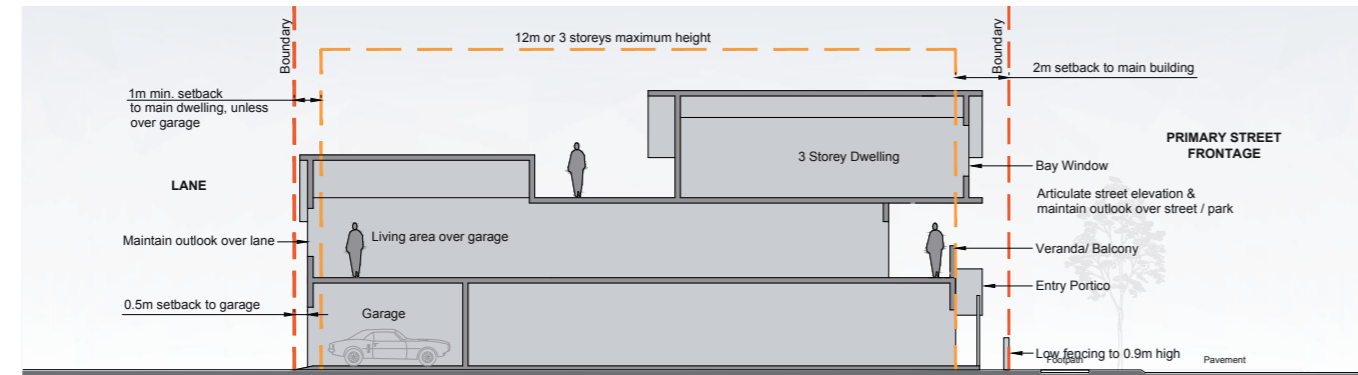
Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

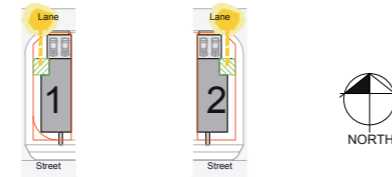
21. SITE SPECIFIC CONSIDERATIONS CORNER TERRACE ALLOTMENT



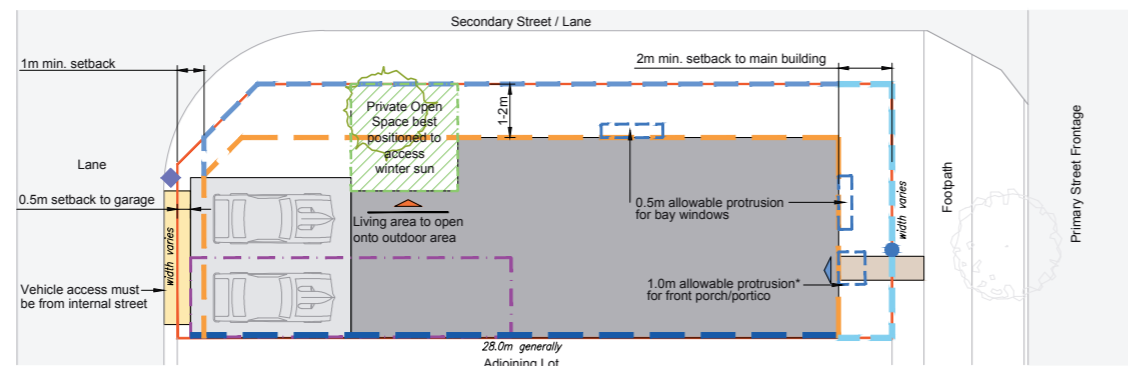
Indicative Section

Solar Orientation Diagrams

- 1 Lot: 72 & 63
- 2 Lot: 64 & 57



Indicative Plan

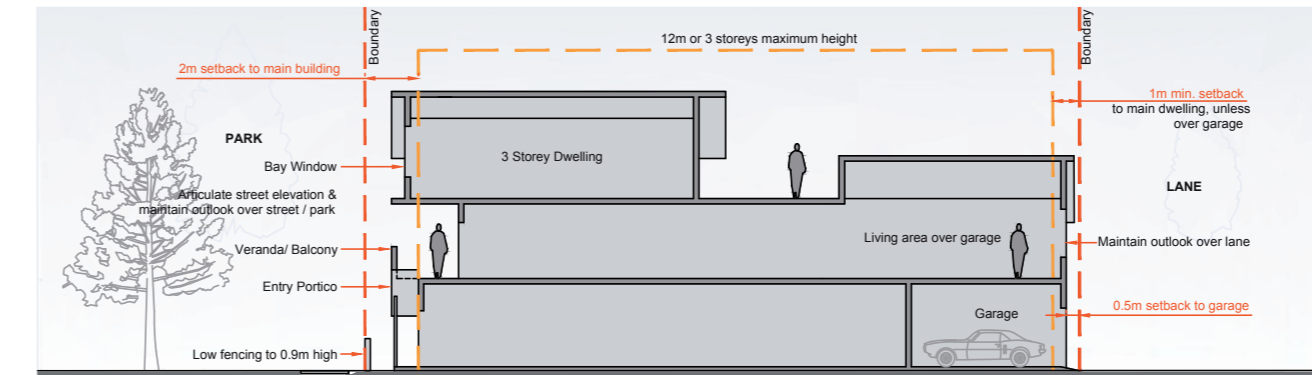


Legend

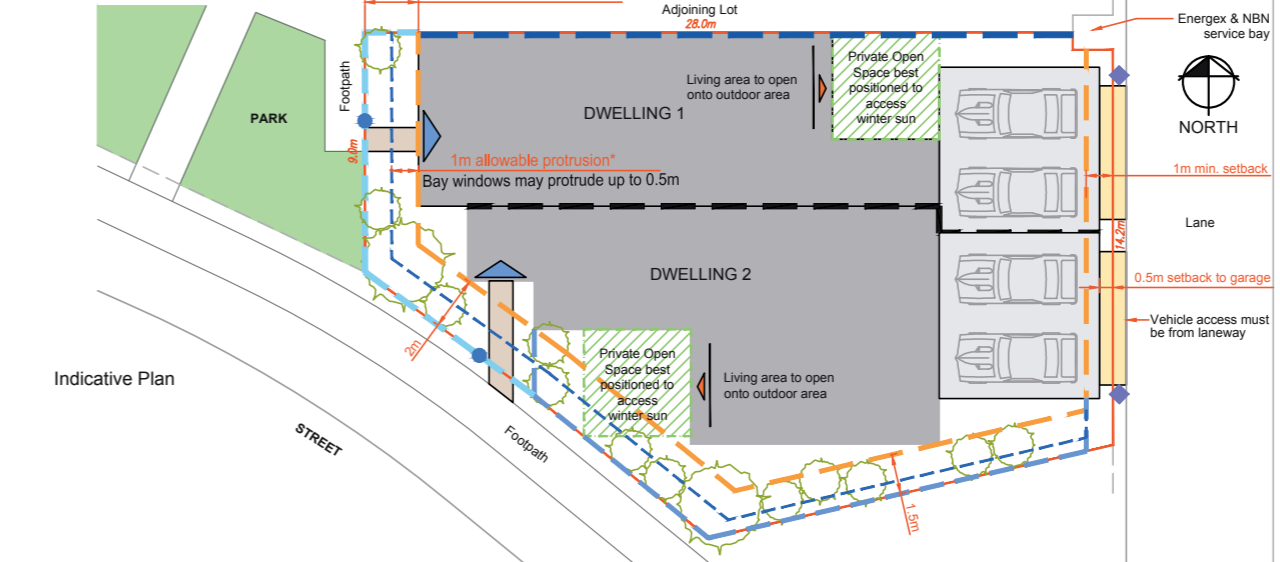
- Allotment Boundary
- Indicative Building Footprint (not including protrusions)
- Mandatory Built to Boundary Wall
- Setback to Main Building
- Allowable Protrusions into Setback Area (*: porches/porches & bay windows only)
- Preferred Front Door Location
- Letterbox Located on Primary Street Frontage
- Bin Collection on Internal Street
- Private Open Space (size shown is nominal)
- Garage
- Alternative Tandem Garage
- Driveway
- Screen fencing 1.8m high
- Low fencing to 0.9m high

Note: drawings are not to scale

22. SITE SPECIFIC CONSIDERATIONS LANEWAY DUPLEX ALLOTMENT



Indicative Section



Indicative Plan

Legend

- Allotment Boundary
- Mandatory Built to Boundary Wall
- Setback to Main Building
- Setback to Second/Third Storey
- Allowable Protrusions into Setback Area (*: porches/porches & bay windows only)
- Indicative Building Footprint (not including protrusions)
- Garage
- Parti-wall
- Alternative Tandem Garage
- Driveway
- Front Yard Planting Area (size shown is nominal)
- Private Open Space (size shown is nominal)
- Preferred Front Door Location
- Solid screen fencing 1.8m high
- Low fencing to 1.2m high
- Pool type fencing 1.2-1.5m high
- Pool

Note: drawings are not to scale

DETAIL

LANEWAY DUPLEX ALLOTMENTS
Lot 47

Front Setback - Habitable Rooms	2.0m
Rear Setback - Habitable Rooms	1.0m
Garages	0.5m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street (varies depending on lot)	2.0m*
Garage Location Access from Rear - Built along Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height

Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. Site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space

At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking

Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



DETAIL
LAKEFRONT TERRACE ALLOTMENTS
- 7.5m wide
Lots 2, 5 - 17, 20 - 22, 27 and 28

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms	3.0m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street	n/a
Garage Location - Access along Built to Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

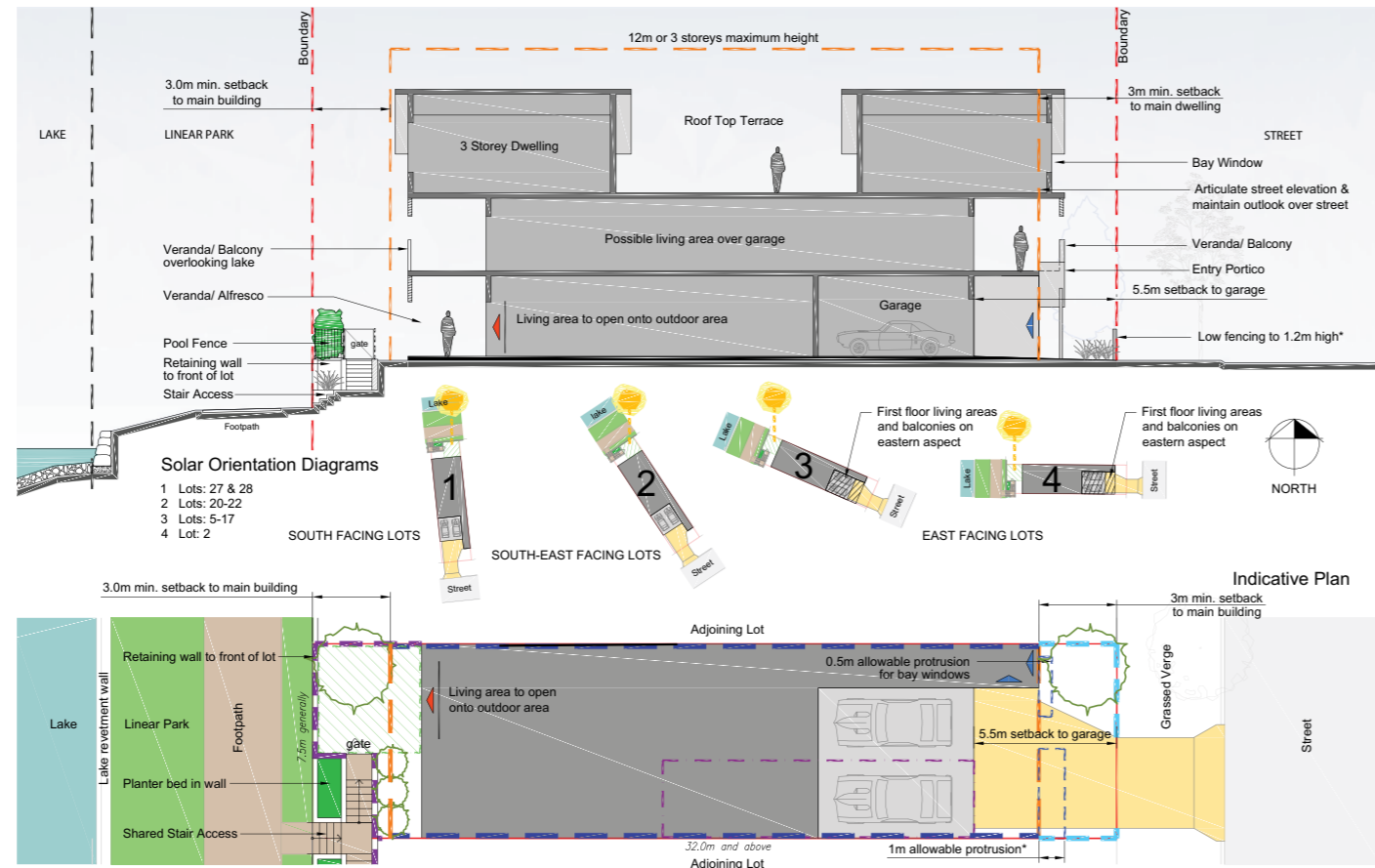
Building Height
Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table.

Outdoor Living Space
At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

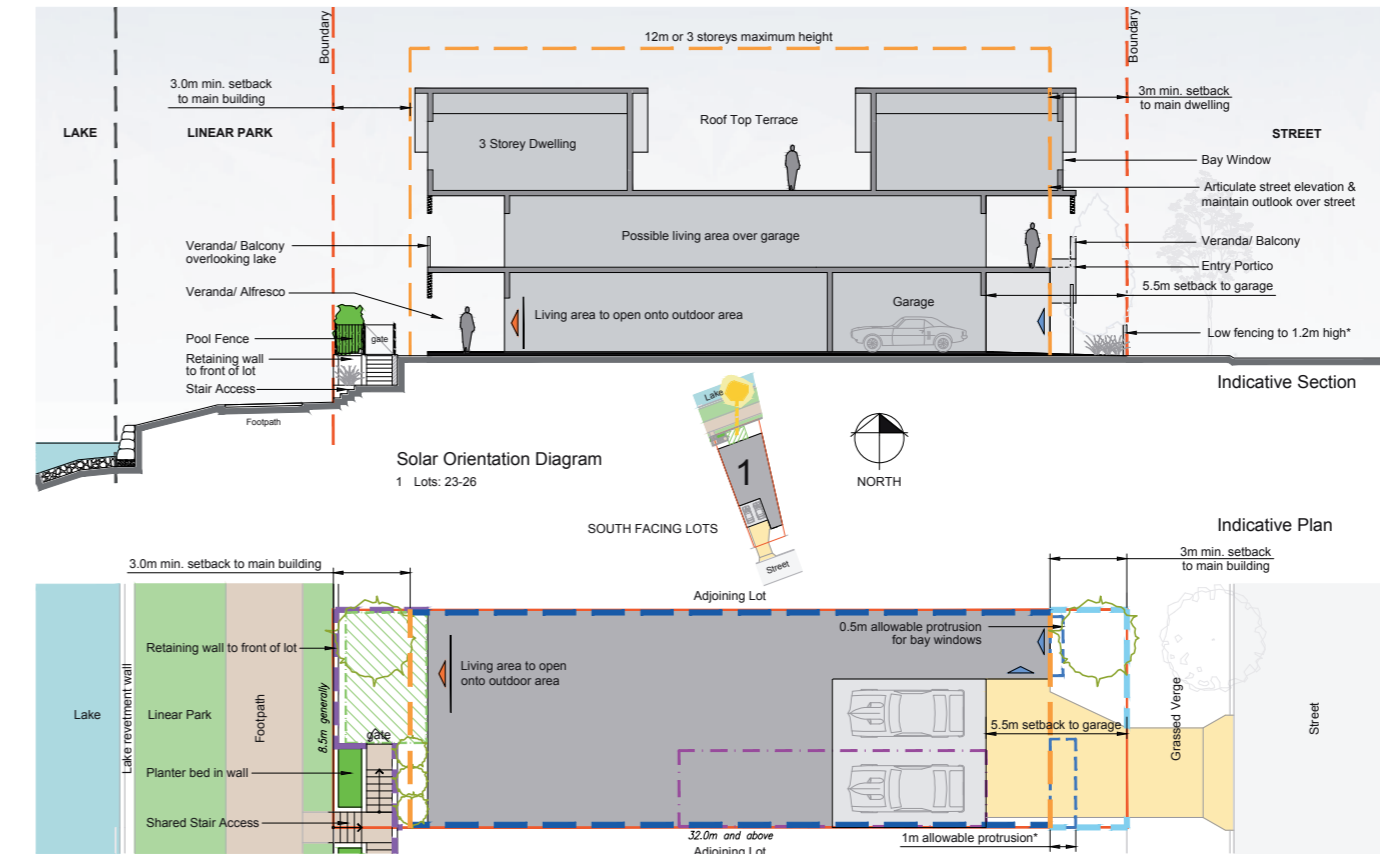
23. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT - 7.5m wide



- Legend**
- Allotment Boundary
 - Mandatory Built to Boundary Wall
 - Setback to Main Building
 - Allowable Protrusions into Setback Area (*: porticos, balconies, verandas and equivalent)
 - Indicative Building Footprint (not including protrusions)
 - Garage
 - Alternative Tandem Garage
 - ▲ Preferred Front Door Location
 - Driveway
 - Private Open Space (size shown is nominal)
 - Low fencing to 1.2m high
 - Pool type fencing 1.2-1.5m high

Note: drawings are not to scale

24. SITE SPECIFIC CONSIDERATIONS LAKEFRONT TERRACE ALLOTMENT - 8.5m



- Legend**
- Allotment Boundary
 - Mandatory Built to Boundary Wall
 - Setback to Main Building
 - Allowable Protrusions into Setback Area (*: porticos, balconies, verandas and equivalent)
 - Indicative Building Footprint (not including protrusions)
 - Garage
 - Alternative Tandem Garage
 - ▲ Preferred Front Door Location
 - Driveway
 - Private Open Space (size shown is nominal)
 - Low fencing to 1.2m high
 - Pool type fencing 1.2-1.5m high

Note: drawings are not to scale

DETAIL
LAKEFRONT TERRACE ALLOTMENTS - 8.5m
Lots 23 to 26

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms	3.0m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street	n/a
Garage Location - Access along Built to Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	n/a

Building Height
Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table.

Outdoor Living Space
At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.



DETAIL
CORNER LAKEFRONT TERRACE ALLOTMENTS
Lots 1, 3, 4, 18, 19, 29

Front Setback - Habitable Rooms	3.0m
Garages	5.5m
Rear Setback - Habitable Rooms	3.0m
Side Setback	
Built to Boundary Wall (1st & 2nd storey)	0.0m*
Non Built to Boundary Wall (1st & 2nd storey)	1.0m
To Street (varies depending on lot)	2.0m*
Garage Location - Access along Built to Boundary wall or otherwise indicated by developer	
Site Cover (maximum)	65%

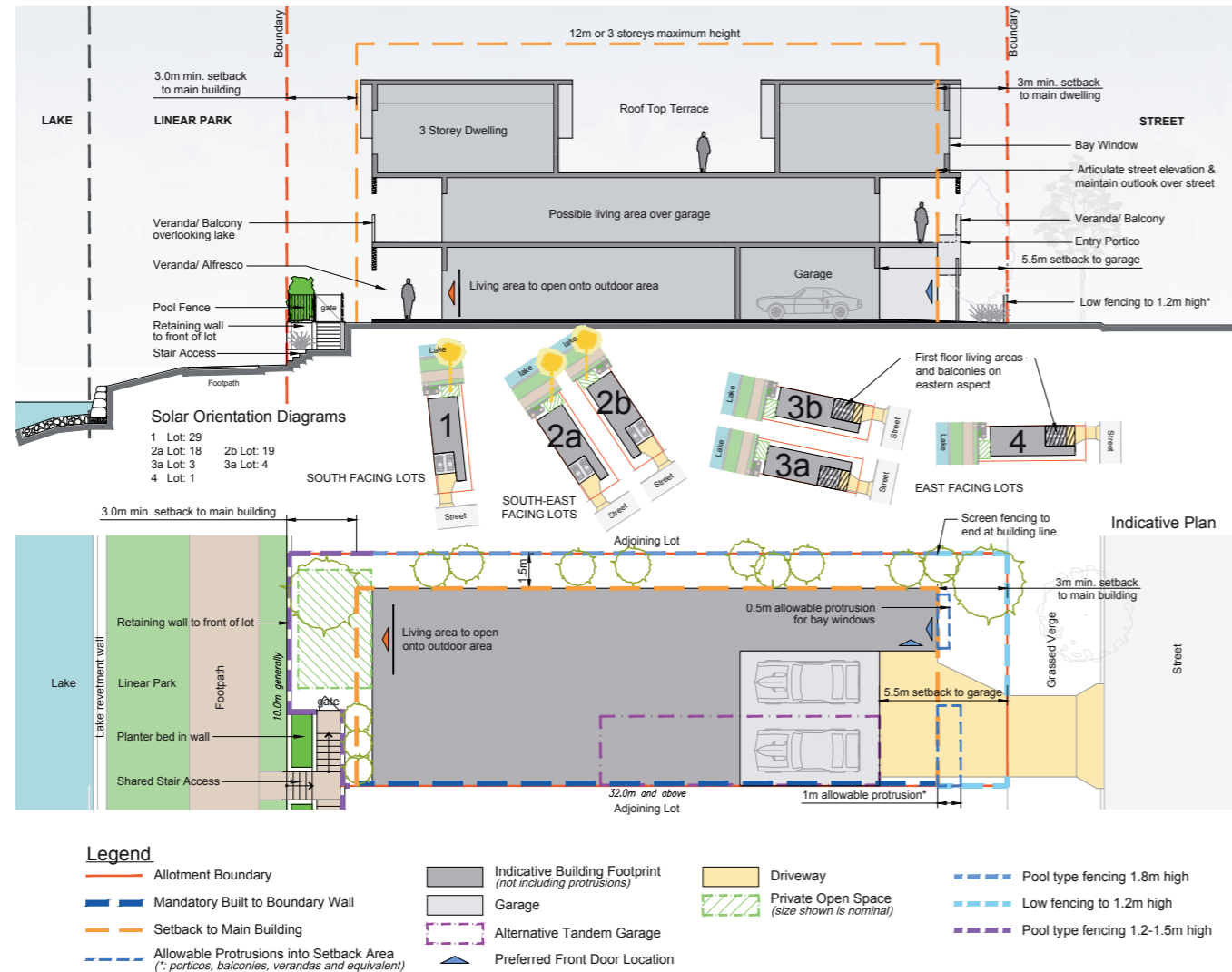
Building Height
Minimum building height shall be 2 storeys and maximum building height shall be 3 storeys (12m above natural ground level).

For three (3) storey buildings, the setback applied shall be as per the second storey in the allotment setback table above. For Lakefront terrace lots the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site area.

Outdoor Living Space
At least 16m² in size, no dimension less than 3.0m and is accessible from the living area of the dwelling. Private Open Space must be uncovered (ie no roof).

Parking
Minimum of 2 onsite covered spaces required in a garage with a segmented panel lift or rollerdoor.

25. SITE SPECIFIC CONSIDERATIONS CORNER LAKEFRONT TERRACE ALLOTMENT



Note: drawings are not to scale



26. ADDITIONS AND EXTENSIONS

Additions and extensions to the dwelling house, outbuildings and other structures, including new verandahs, pergolas, outbuildings, sheds, swimming pools and garden structures are subject to the same covenant requirements and application for approval must be made to the Seller and the local authority in the same manner as the original building applications.

27. MAINTENANCE OF LOTS

During construction it will be the responsibility of the Buyer to ensure that rubbish including site excavations and building materials is kept in such a manner that the community presentation and safety is not effected. Excessive growth of grass or weeds upon the Lot will also need to be maintained to up hold the visual amenity of Sunshine Cove.

28. BUILDING WORKS

It is the Buyers responsibility to ensure that their builders / contractors working on site comply with environment controls that are reflective of current best practice, meet Sunshine Coast Regional Council standards and work health and safety measures. During construction, access will only be permissible from the front of the Lot and Buyers will be responsible for any necessary rectification works to adjoining property, parklands, streetscape or land owned by the Developer.

It is the responsibility of the Buyer and the Buyers builder / contractor to install appropriate sediment control measures onsite prior to construction commencing and ensure they are maintained accordingly.

The Buyer agrees to substantially commence construction in accordance with the approved Development and Construction Application within six months from the date of settlement.

29. ADVERTISING SIGNS

Sunshine Cove's residential community quality presentation standard is to be held in regard in consideration of the use of advertising signs on individual lots.

A single advertising device may be installed on a temporary basis, for the purpose of advertising the property for sale or lease to a maximum size of 2m x 1m. The advertising sign must be supported by two posts painted to compliment the colour of the signage.

30. PUBLIC USE OF LAKEWAY

Swimming in the lake or water way at Sunshine Cove is prohibited and is not encouraged or advisable.

Water based activities (where there is no direct contact between an individual and the water) such as kayaking, canoeing and rowing are permitted.

The Developer will not be held liable for any injury, accident or death to members of the public swimming or undertaking water activities.

The use of motorised activities on the waterways is also prohibited by the Sunshine Coast Regional Council.

31. INFORMATION SUPPLIED BY SELLER

Any information supplied by or on behalf of the Seller is supplied for the convenience of the Buyer and does not form part of the Contract. The accuracy of any information supplied is not warranted by the Seller and the Buyer acknowledges that it has entered into this Contract solely on the basis of the Buyer's own investigation. The Seller will not be liable in Contract or in Tort for the accuracy, adequacy or suitability of any information, documents or advice in relation to the condition of the Lot or its surroundings.

32. LEGAL DUTY OR OBLIGATION

The Buyer and the Seller acknowledge and agree that these provisions relating to building covenants do not create any legal duty or obligation for the benefit of or enforceable by a third party in terms of Section 55 of the Property Law Act 1974 as amended and the operation of that section is hereby expressly excluded in respect of this Contract.

33. NO MERGER

The buyer agrees that the provisions of this Covenant will not merge on the completion of this Contract.

34. ASSIGNMENT

The Buyer will not sell, transfer or otherwise dispose of the Land without first delivering to the Seller a Deed of Covenant given by the Buyer, Transferee or Disponee in favour of the Seller containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further Buyer, Transferee or Disponee.

Such documentation is available by contacting the Seller and or the Seller's solicitor.

35. INCONSISTENCY

If there is any inconsistency between these covenants and a contract of sale between the Seller and the Buyer, the terms of the contract of sale will prevail to the extent of any inconsistency.

36. SEVERANCE

If anything in these covenants:

- (a) is unenforceable, illegal or void; or
- (b) makes any covenant unenforceable, illegal, void or voidable, then it is severed and the rest of the covenants remain in force.

If it is held by a court that part of these covenants are:

- (a) void, voidable, illegal or unenforceable; or
- (b) makes these covenants void, voidable, illegal or unenforceable, that part will be severed from this document.



ALLOTMENT SETBACKS TABLE			
ALLOTMENT TYPE	LANEWAY TERRACE	LAKEFRONT TERRACE	LAKEFRONT VILLA
Front Setback	2.0m	3.0m	3.0m
Habitat Rooms	n/a	5.5m	5.5m
Garage	2.0m	3.0m	3.0m
Rear Setback	1.0m	3.0m	3.0m
Habitat Rooms	1.0m	3.0m	3.0m
Garage	0.5m	n/a	n/a
Side Setback	0.9m*	0.9m*	0.9m*
Built to Boundary Wall	1.0m	1.0m	1.0m
Side Setback	1.0m	1.0m	1.0m
Non-Built to Boundary Wall	1.0m	1.0m	1.0m
Side Setback to Street (Corner Lots)	2.0m	2.0m	2.0m
Habitat Rooms	2.0m	2.0m	2.0m
Garage Location	Along built to boundary wall or otherwise indicated		
Site Cover (Maximum)	n/a	n/a	45%

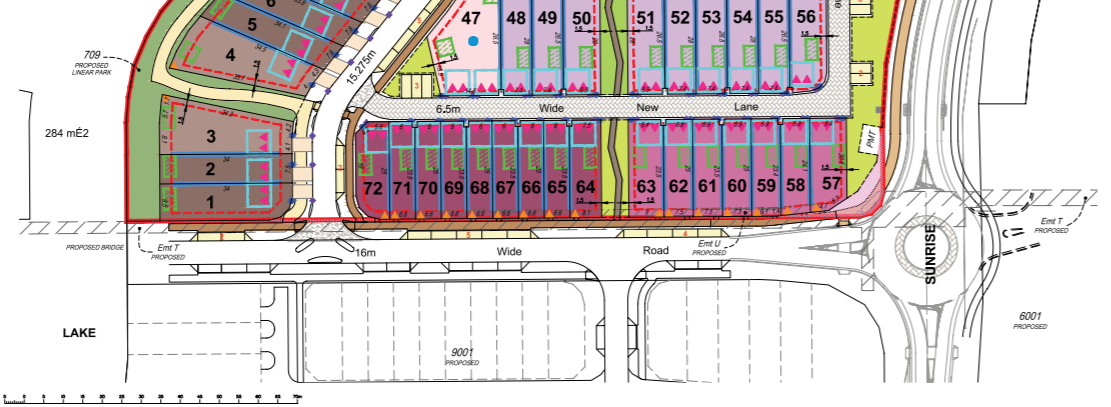
Note: Refer allotment setback notes for specific controls on buildings with a third storey.
* Built to boundary walls are mandatory where shown on plan.

LEGEND

- Subject Site
 - Pedestrian Linkage (Road Reserve)
 - Park
 - Linear Park
 - Proposed Easement
 - Road Widening
 - On-Street Parking Bay
 - Preferred Driveway Location
 - Stormwater Treatment Area
 - 3.0m Wide Pathway
 - 2.5m Wide Pathway
 - 1.8m Wide Pathway
 - 1.5m Wide Pathway
 - Shared access onto Linear Park (Parcel 709)
 - Single access onto Street/Park/ Pedestrian Linkage
- Lot Types**
- 6.6m LANEWAY TERRACE ALLOTMENT
 - 7.5m LANEWAY TERRACE ALLOTMENT
 - 8.0m LANEWAY TERRACE ALLOTMENT
 - LANEWAY DUPLEX ALLOTMENT #
 - 7.5m LAKEFRONT TERRACE ALLOTMENT
 - 8.5m LAKEFRONT TERRACE ALLOTMENT
 - 10.0m LAKEFRONT TERRACE ALLOTMENT
- Development Controls**
- Maximum Building Location Envelope (for first storey only)
 - Mandatory Built to Boundary Wall
 - Optional Built to Boundary Wall
 - Preferred Garage Location
 - Potential On-Site Parking Locations
 - Preferred Open Space Location
 - Letterbox Location
 - Bin Collection Location

Note:
Lot 47 is a potential duplex site subject to Council approval (Code Assessment)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.



Development Controls

1. Setbacks are as per the Allotment Setbacks Table unless dimensioned otherwise.
2. Where built to boundary walls are not adopted side boundary setbacks shall be in accordance with the Allotment Setbacks Table for non-built to boundary walls.
3. For villa lots, built to boundary walls shall have a maximum combined length of 15m and a maximum height of 2.5m. For terrace and laneway lots built to boundary walls shall not exceed the front or rear setbacks for the lot.
4. Setbacks are measured to the wall of the building/structure. Eaves (excluding gutters) are permitted to extend up to 400mm within the setback area (other than where walls are built to boundary), provided a minimum side boundary clearance from eaves and gutters of 400mm is achieved.
5. Entrance porches may be located closer to the property boundary than stated in the allotment setbacks table, provided that the porch is located not less than 2.0m from the front property boundary (1.0m for all laneway terrace, including duplex lots), the height of the porch does not exceed 4.0m, the porch remains open and not enclosed and the width of the porch is limited to the front entry area only.
6. Porches, balconies, verandas or equivalent may extend up to 1.0m into the front setback area (including laneway terrace lots) and the side street setback area for corner lots, provided they remain open and not enclosed.
7. Bay windows may extend up to 0.5m into the front setback area and side street setback area for corner lots.
8. For laneway housing, garages may only front a rear or side lane (unless shown otherwise on plan).
9. Habitable rooms built above a garage onto a rear lane may have the same setback to the lane as the garage.
10. For all lakefront terraces and villa lots, the indicated front setback shall only apply to habitable rooms. Garages must be setback as per the Allotment Setbacks Table.
11. On lots 1-37, verandas and balconies may project up to 1.5m into the rear setback (adjacent lot 709, lot 708 or the lake).
12. Fencing to sensitive boundaries: Lakefront: all rear yard fencing along lot 709 and lot 708 (Park or the lake itself) must be pool type fencing max. 1.2m high, including the side returns between the building line and rear boundary. Corner lakefront lots: Side fencing to the street, pedestrian reserves and must be pool type fencing max. 1.8m high, and must transition down to the height of the rear boundary fence within the rear building setback.
13. Maximum building location envelopes are subject to future proposed easements and/or underground services.
14. Garages to all lakefront terrace lots and villa lots are to be accessed via a single width driveway (max. 3.5m wide, where crossing the verge), as shown on plan, to maintain space within the verge for street trees, grass and street planting beds.
15. Maximum plot ratio for all buildings is 2.
16. Private open space is provided that: 1) is at least 10m² in size excluding remanent tanks unless underground, 2) has no dimension less than 4.0m (3.0m for terrace, including duplex, lots); and 3) access is provided from a living area of the house.
17. Buildings and structures are not higher than 3 storeys and 12 meters above natural ground level (where roof top terraces are defined as a 'storey').
18. For 3 storey buildings, the third storey: - is an integral part of the overall design of the building; and - is setback as per the second storey in the allotment setback table; and - For side fronting lot 709 (linear linkage reserve) the third storey must respect the boundary setbacks defined for the second storey in the Allotment Setbacks Table. For all other lots the site cover of the third storey does not exceed 40% of the total site cover.
19. All clothes drying and rubbish storage areas are to be screened from the street or lane or from other open space areas.
20. Minor variations to the approved Plan of Development for individual lot to suit site specific conditions are to be assessed as alternative provisions for design and siting under the Building Act 1975 (as amended).

The illustrations and imagery included within this document are for illustrative purposes only and as such are subject to change.

Architectural drawings by Dimond Architects
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